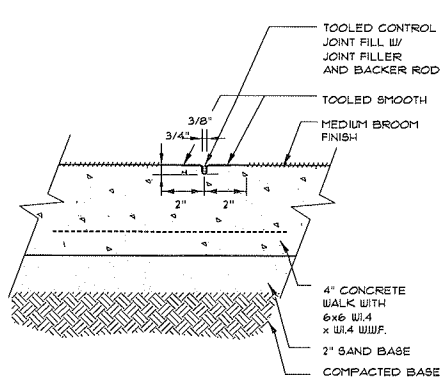
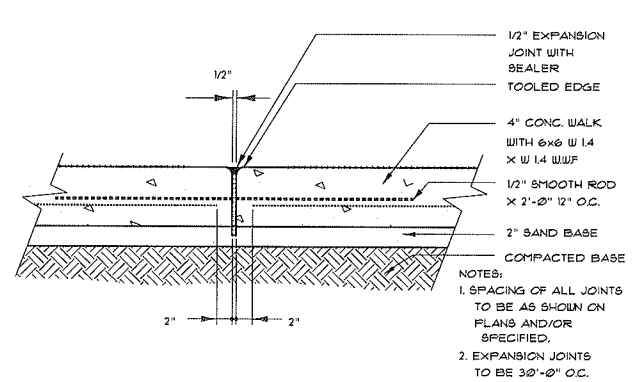


LEGEND	
	EXISTING WALL
	NEW INTERIOR PARTITION
	NEW 2 HOUR PARTITION
	RE: SHEET A501 FOR DOOR SCHEDULE
	RE: SHEET A401 FOR PARTITION TYPES
	RE: SHEET A502 FOR WINDOW TYPES & WINDOW SCHEDULE

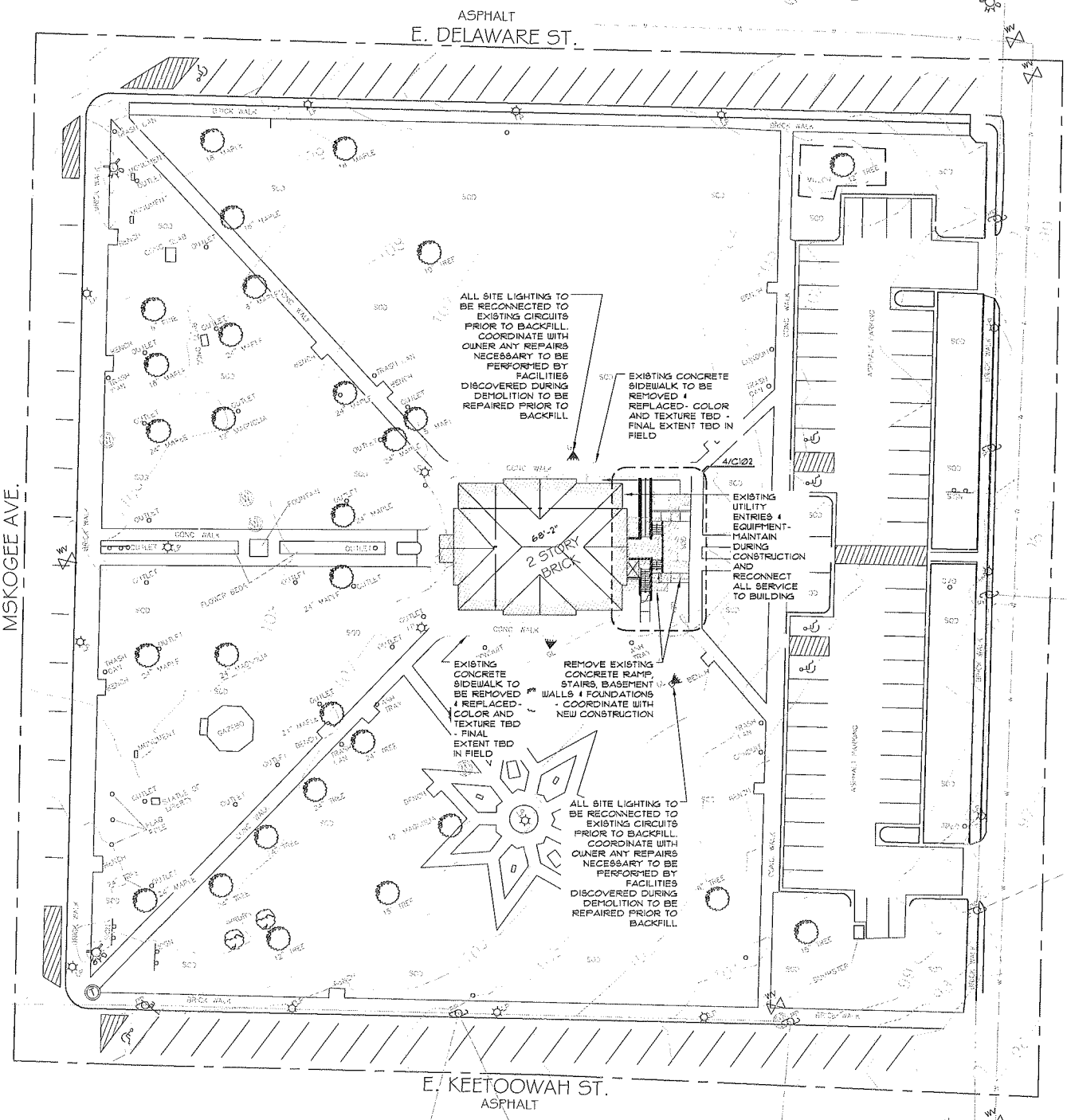
- GENERAL NOTES**
- ALL DIMENSIONS ARE TO NEW OR EXISTING FACE OF FINISHED WALL.
 - EXTERIOR MASONRY TO MATCH COLOR COURSE & BOND OF BRICK AT EXTERIOR CORNERS. CONTRACTOR TO FIELD VERIFY EXTENT OF MASONRY WORK PRIOR TO BID - ALL CRACKS AND/OR DETERIORATED AREAS TO BE REPAIRED/RESTORED TO ORIGINAL COURSE AND BOND.
 - CONTRACTOR SHALL REMOVE & DELIVER TO OWNER FOR STORAGE ALL ITEMS DEEMED TO BE REUSED IN NEW CONSTRUCTION OR HISTORIC FABRIC.
 - CONTRACTOR TO FIELD VERIFY EXTENT OF SIDEWALK THAT WILL NEED TO BE REPLACED DO TO SITE WORK & FOUNDATION WATERPROOFING. PROVIDE TO THE OWNER AS SEPARATE NUMBER WITHIN THE BASE BID WITH QUANTITY & SCOPE.
 - CONTRACTOR TO PROVIDE AS A LINE ITEM TO IN THE BASE BID A DESIGN BUILD LIGHTING PROTECTION SYSTEM IN ACCORDANCE WITH UL 96A, NFPA 780, & LPI 115 - ELEMENTS TO BE CONCEALED WITH THE EXCEPTION OF STRIKE TERMINATION DEVICES (LIGHTING RODS). PROVIDE SPECIFICATION TO OWNER OF SYSTEM WITH BID PACKET FOR REVIEW.



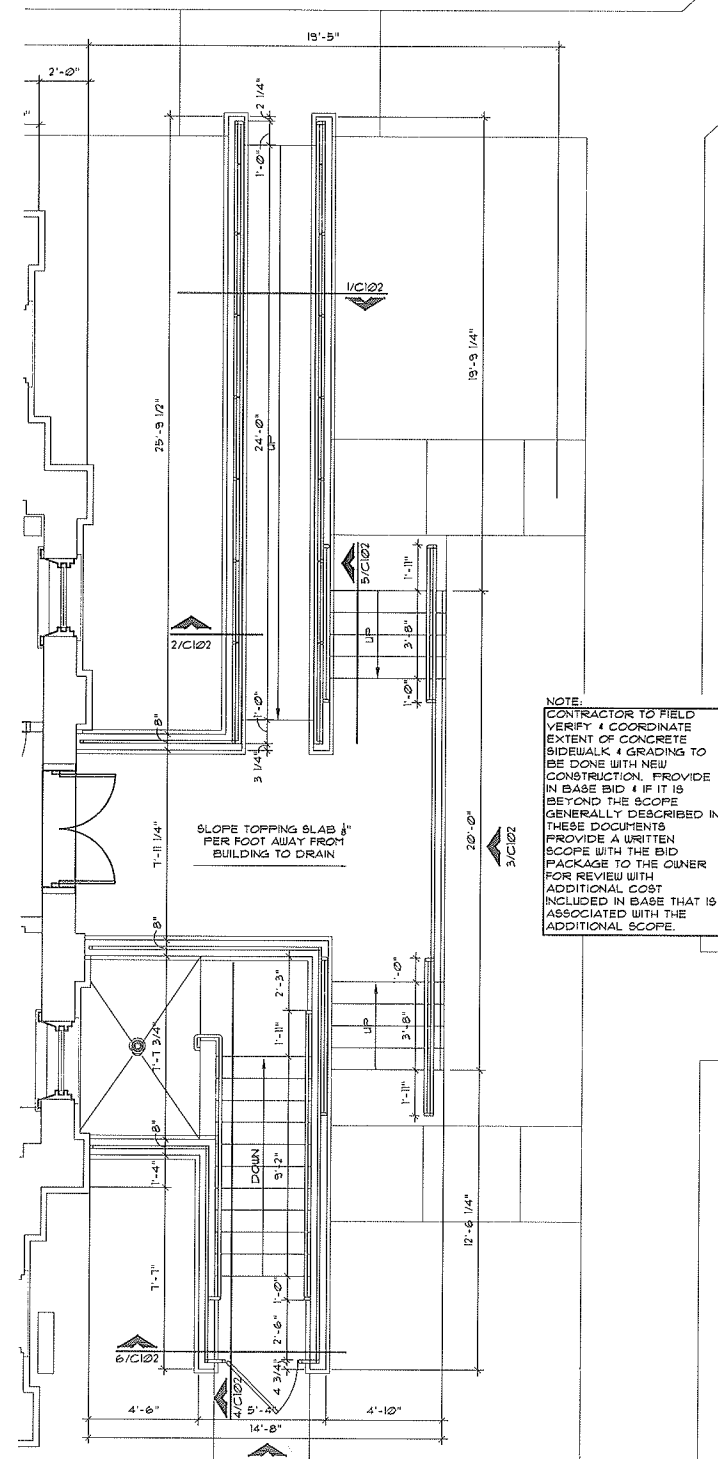
2 SIDEWALK CONTROL JOINT DETAIL
 C101 SCALE: 1" = 1'-0"



3 SIDEWALK EXPANSION JOINT DETAIL
 C101 SCALE: 1" = 1'-0"



1 SITE PLAN
 C101 1/32" = 1'-0"



4 BACK ENTRY RAMP & STAIR PLAN
 C101 SCALE: 1/4" = 1'-0"

- SITE GENERAL NOTES**
- CONTRACTOR SHALL VERIFY THAT THE EXISTING UNDERGROUND STORM DRAINS NOT AFFECTED BY NEW STORM DRAIN AND PERIMETER DRAINAGE SYSTEM ARE CLEAR & IN WORKING CONDITION. SHAKE ALL CLOGGED DRAINS AS NEEDED TO PROVIDE AN OPERATING SYSTEM.
 - CONTRACTOR SHALL MAKE THE OWNER AWARE OF THE EXISTING SITE WORK CONDITIONS. CONTRACTOR SHALL REPAIR OR REPLACE ANY AREAS DAMAGED BY CONSTRUCTION ACTIVITIES.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NEW UTILITIES/SERVICE LINES TO THE BUILDING IF REQUIRED FOR NEW CONSTRUCTION, INCLUDING ALL TAP FEES, REPAIR PAVING, LANDSCAPING OR SIDEWALK AREAS IF DISTURBED.
 - EXISTING LAWN IF UNDISTURBED SHALL BE CLEANED, AERATED AND SEEDED.
 - LANDSCAPED AREAS SHALL BE BY THE OWNER'S FACILITIES GROUP. COORDINATE WITH THE OWNER.
 - CONTRACTOR SHALL ACKNOWLEDGE THAT THE EXISTING TREES, SHRUBS, AND VARIOUS LANDSCAPING ARE IN GOOD CONDITION. CONTRACTOR SHALL REPAIR OR REPLACE ANY AREAS DAMAGED BY CONSTRUCTION ACTIVITIES.
 - PROVIDE CONCRETE PADS AT ALL MECHANICAL UNITS.
 - PROVIDE FOR TEMPORARY POWER LIGHTING, PLUMBING & HVAC DURING CONSTRUCTION. THE BUILDING WILL BE OPERATIONAL & NEEDS TO BE MAINTAINED OPERABLE. COORDINATE WITH THE OWNER PRIOR TO COMMENCING WORK ALL DAYS THAT CONSTRUCTION ACTIVITY WILL BE PERMITTED & IN WHAT MANNER THE SITE MUST BE MAINTAINED.
 - FINAL GRADE ELEVATIONS OF NEW PAVING, SIDEWALKS, ETC. SHALL BE ESTABLISHED DURING CONSTRUCTION. BY THE CONTRACTOR. GRADES SHALL BE APPROVED BY THE OWNER AND ARCHITECT. PROVIDE A POSITIVE SLOPE AWAY FROM THE BUILDING. TOP OF GRADE SHALL ALIGN WITH ADJACENT PAVING OR RETAINING WALL. MATCH EXISTING SITE DRAINAGE PATTERNS. FIELD VERIFY PRIOR TO BID.
 - ALL SITE STEPS, RAMPS & RAILINGS SHALL MEET ADAAS REQUIREMENTS.
 - ADDITIONAL PAVING SAWCUT/EXPANSION JOINTS MAY BE REQUIRED TO PROVIDE PROPER EXPANSION /CONTRACTION. FINAL CONFIGURATION SHALL BE DETERMINED AT THE SITE BY THE CONTRACTOR & APPROVED BY THE OWNER & ARCHITECT. PROVIDE PROPER JOINTS AT ALL BUILDING EDGES.
 - PROVIDE A POSITIVE SLOPE OF ALL GRADE TO MUNICIPAL STORM WATER DRAIN INLETS.
 - LOCATION OF ANY NEW OR TEMPORARY TRANSFORMERS, GAS & ELECTRIC METERS TO BE DETERMINED. FINAL LOCATION SHALL BE APPROVED BY OWNER & ARCHITECT. ONLY UNDERGROUND LINES WILL BE PERMITTED. THE EXACT LOCATION & ROUTING TO BE DETERMINED IN THE FIELD & COORDINATED WITH FUTURE PHASES OF CONSTRUCTION.
 - SIDEWALK ACCESSIBLE ROUTE SHALL NOT EXCEED A SLOPE OF 1:20.
 - CONTRACTOR MUST MAINTAIN THE CONSTRUCTION SITE IN A SAFE MANNER. DAILY CLEANUP IS REQUIRED OF ALL TRADES AND THE CONTRACTOR MAINTAIN FENCING OR OTHER BARRIERS THAT ELIMINATE THE OPPORTUNITY FOR INDIVIDUALS NOT INVOLVED IN THE WORK ACCESS INTO THE CONSTRUCTION AREA.
 - PROTECT ADJACENT BUILDING DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR OR REPLACE ANY AREAS DAMAGED BY CONSTRUCTION ACTIVITIES.
 - CONTRACTOR TO PROVIDE FOR THE INSTALLATION OF CHEROKEE SITE SIGNAGE FOR WAY FINDING & ACCESSIBILITY. COORDINATE WITH THE OWNER PRIOR TO COMMENCING WORK.

NOTE:
 CONTRACTOR TO FIELD VERIFY & COORDINATE EXTENT OF CONCRETE SIDEWALK & GRADING TO BE DONE WITH NEW CONSTRUCTION. PROVIDE IN BASE BID & IF IT IS BEYOND THE SCOPE GENERALLY DESCRIBED IN THESE DOCUMENTS PROVIDE A WRITTEN SCOPE WITH THE BID PACKAGE TO THE OWNER FOR REVIEW WITH ADDITIONAL COST INCLUDED IN BASE THAT IS ASSOCIATED WITH THE ADDITIONAL SCOPE.

NOTE:
 CONTRACTOR TO PROVIDE PATH FROM BASEMENT TO OUTSIDE OF SIDEWALK LINE FOR FUTURE SITE LIGHTING IN BASE BID.

NOTE:
 CONTRACTOR TO PROVIDE RECESSED TREAD LIGHTING AT EACH TREAD & RECESSED SIDE LIGHTING AT 24" O.C. ALONG EACH SIDE OF RAMP IN BASE BID. PROVIDE FOR FIXTURES, CONDUIT, BREAKERS, POWER SUPPLY FOR COMPLETE OPERATIONAL SYSTEM.

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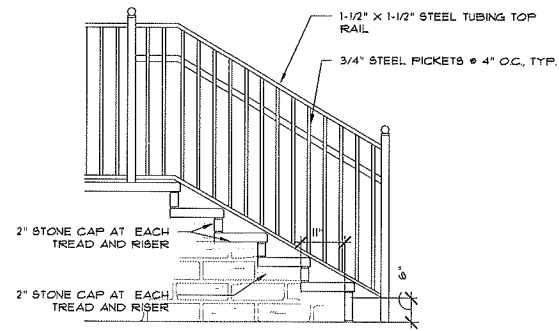
Tahlequah, OK

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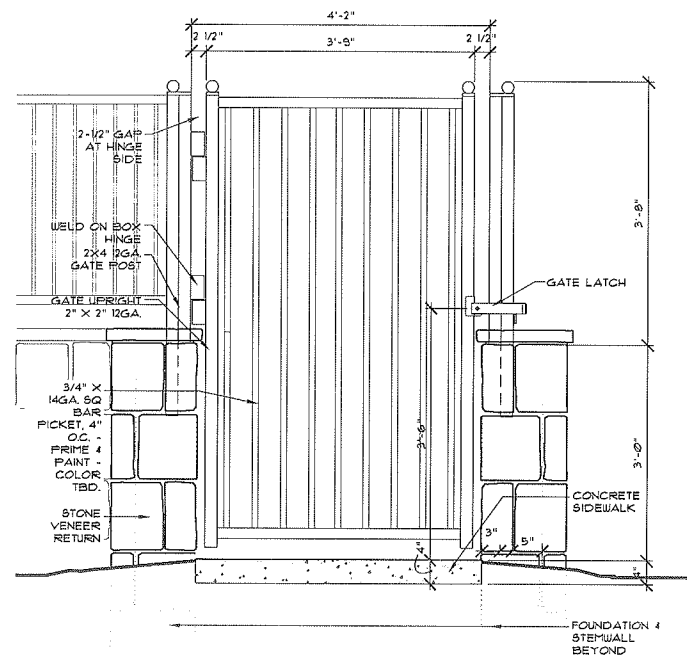
REVISIONS

SHEET TITLE:
Site Plan

C101



1 STAIR SIDE ELEVATION
 C103 SCALE: 1/2" = 1'-0"



2 GATE ELEVATION
 C103 SCALE: 3/4" = 1'-0"

GENERAL NOTES

- ALL DIMENSIONS ARE TO NEW OR EXISTING FACE OF FINISHED WALL.
- EXTERIOR MASONRY TO MATCH COLOR COURSE & BOND OF BRICK AT EXTERIOR CORNERS. CONTRACTOR TO FIELD VERIFY EXTENT OF MASONRY WORK PRIOR TO BID - ALL CRACKS AND/OR DETERIORATED AREAS TO BE REPAIRED/RESTORED TO ORIGINAL COURSE AND BOND.
- CONTRACTOR SHALL REMOVE & DELIVER TO OWNER FOR STORAGE ALL ITEMS DEEMED TO BE REUSED IN NEW CONSTRUCTION OR HISTORIC FABRIC.
- CONTRACTOR TO FIELD VERIFY EXTENT OF SIDEWALK THAT WILL NEED TO BE REPLACED DO TO SITE WORK & FOUNDATION WATERPROOFING. PROVIDE TO THE OWNER AS SEPARATE NUMBER WITHIN THE BASE BID WITH QUANTITY & SCOPE.
- CONTRACTOR TO PROVIDE AS A LINE ITEM TO IN THE BASE BID A DESIGN BUILD LIGHTING PROTECTION SYSTEM IN ACCORDANCE WITH UL 96A, NFPA 702, & LPI 115 - ELEMENTS TO BE CONCEALED WITH THE EXCEPTION OF STRIKE TERMINATION DEVICES (LIGHTING RODS). PROVIDE SPECIFICATION TO OWNER OF SYSTEM WITH BID PACKET FOR REVIEW.

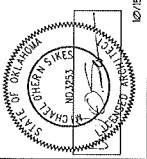
LEGEND

- EXISTING WALL
- NEW INTERIOR PARTITION
- NEW 2 HOUR PARTITION
- RE: SHEET A501 FOR DOOR SCHEDULE
- RE: SHEET A401 FOR PARTITION TYPES
- RE: SHEET A502 FOR WINDOW TYPES & WINDOW SCHEDULE



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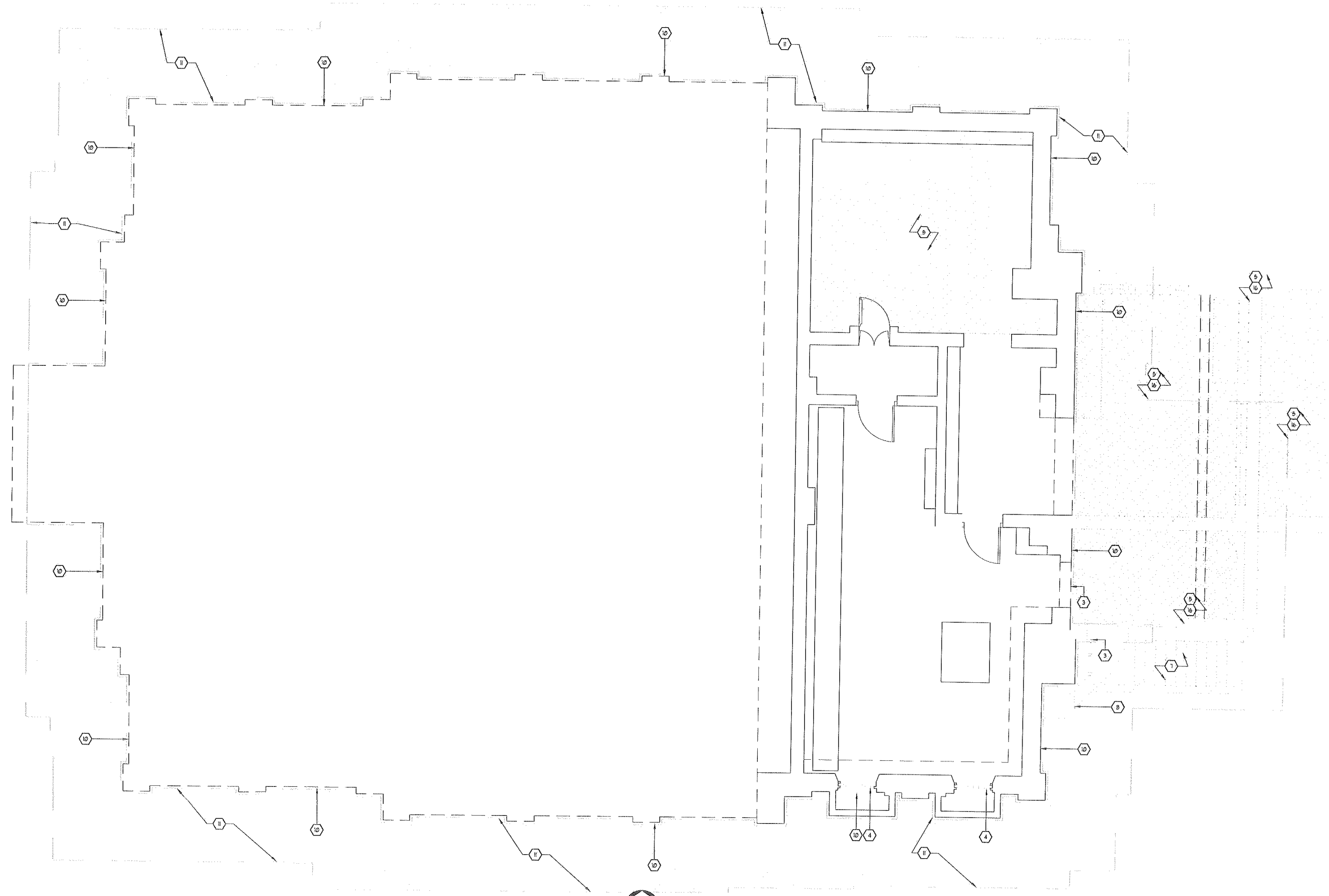


Cherokee Nation Enterprises/Culture & Tourism
Cherokee Nation Capitol - Phase One
 Tahlequah, OK

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CHECKED BY:	MOS
ISSUED:	10/15/12
REVISIONS	

SHEET TITLE:
 Site Details

C103



DEMOLITION LEGEND

— EXISTING WALLS, DOORS, ETC. TO REMAIN. REMOVE MISC. FINISHES WHICH CONFLICT WITH NEW CONSTRUCTION

--- EXISTING WALLS, DOORS, ETC. TO BE REMOVED FROM FINISH FLOOR TO ROOF. CONTRACTOR SHALL INCLUDE IN SCOPE OF WORK MISC. DEMOLITION OF ITEMS NOT SHOWN ON THESE DRAWINGS TO PROVIDE THE INTENT OF THE DESIGN. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL ITEMS NOT SHOWN WHICH CONFLICT WITH DEMOLITION FOR ADDITIONAL INSTRUCTIONS. ALL DOORS, FRAMES, MILLWORK, ETC TO BE SALVAGED & STOCKPILED.

- DEMO KEYNOTE LEGEND**
- COORDINATE LOCATION WITH OWNER/ARCHITECT FOR TEST AREAS TO REMOVE PAINT FROM BRICK. TEST POSSIBLE METHODS TO REMOVE PAINT. SAND-BLASTING IS NOT AN ACCEPTABLE SOLUTION TO REMOVING PAINT. CONTRACTOR IS TO PROVIDE A TEN TEST AREAS TO BE APPROVED BY THE OWNER/ARCHITECT. REFER TO NFPA TECHNICAL BRIEFS FOR ADDITIONAL MASONRY RESTORATION AND TUCK POINTING REQUIREMENTS.
 - EXISTING DOOR TO BE REMOVED & EXISTING OPENING FOR NEW DOOR & FRAME.
 - REMOVE EXISTING DOOR & FRAME. PREPARE OPENING FOR NEW DOOR & FRAME.
 - REMOVE EXISTING WINDOW SASH & DETERIORATED PORTIONS OF FRAME, ETC. THAT CANNOT BE RESTORED. RE: NPS PRESERVATION BRIEFS.
 - REMOVE CONCRETE SLAB.
 - REMOVE EXISTING SHINGLES - REMOVE DETERIORATED DECKING - SALVAGE EXISTING DECK FOR RE-USE IN NEW CONSTRUCTION - PROTECT STRUCTURE FOR NEW CONSTRUCTION - RE: STRUCTURAL FOR SUPPORTS, ROOF RAFTERS & SUBSTRATE.
 - REMOVE EXISTING STEPS - PREPARE AREA FOR FILL.
 - REMOVE ABANDONED MASONRY CHASE FROM GROUND TO TOP - SHORE ALL ADJACENT SURFACES/MEMBERS - STORE MASONRY FOR RE-USE IF IT MATCHES THE HISTORIC.
 - REMOVE ALL LOOSE MASONRY & MORTAR - PREP FOR REINSTALL W/ IN-KIND MASONRY & MORTAR. RE: SPEC SECTIONS 04860, 04920, 04920, NPS PRESERVATION BRIEF 24 NEW CONST.
 - CAREFULLY REMOVE CEMENTITIOUS STUCCO MATERIAL FROM STONE WATER TABLE. GENTLY CLEAN STONE SURFACE OF ANY ADDITIONAL STUCCO IN THE CRACKS AND CREVASSES, THEN REPAIR THE DETERIORATED STONES AS NECESSARY. LASTLY, REMOVE DETERIORATED MORTAR AND RE-TUCK POINT THESE AREAS.
 - EXCAVATE SOIL AT EXTERIOR WALL TO BOTTOM OF FOUNDATIONS, PREPARE WALL SURFACE TO APPLY WATERPROOFING MEMBRANE WITH PROTECTION COURSE.
 - REMOVE EXISTING METAL GUTTER AND DOWNSPOUTS - PRIME & PAINT. COLOR TO BE DETERMINED.
 - PREPARE AREA FOR NEW ROOF CONSTRUCTION. RE: STRUCTURAL FOR SUPPORTS, ROOF RAFTERS & SUBSTRATE.
 - DEMO EXISTING CONCRETE LANDING, RAMP, STEPS, GUARDRAILS AND HANDRAILS. SALVAGE GUARDRAILS AND HANDRAILS FOR OWNER.
 - EXISTING STAIRS TO REMAIN - PROTECT DURING CONSTRUCTION.
 - REMOVE EXISTING BASEMENT WALLS, FLOORS, DOORS, WINDOWS, FOUNDATIONS, ELECTRICAL, PLUMBING, MECHANICAL, ETC. TO PREPARE FOR NEW CONSTRUCTION. RE: NEW CONSTRUCTION - PROVIDE FOR SHORING OF EXISTING TO REMAIN - REPORT TO OWNER UNDERGROUND CONDITIONS.

1 BASEMENT FLOOR PLAN
 D100 SCALE: 1/4"=1'-0"
 NORTH

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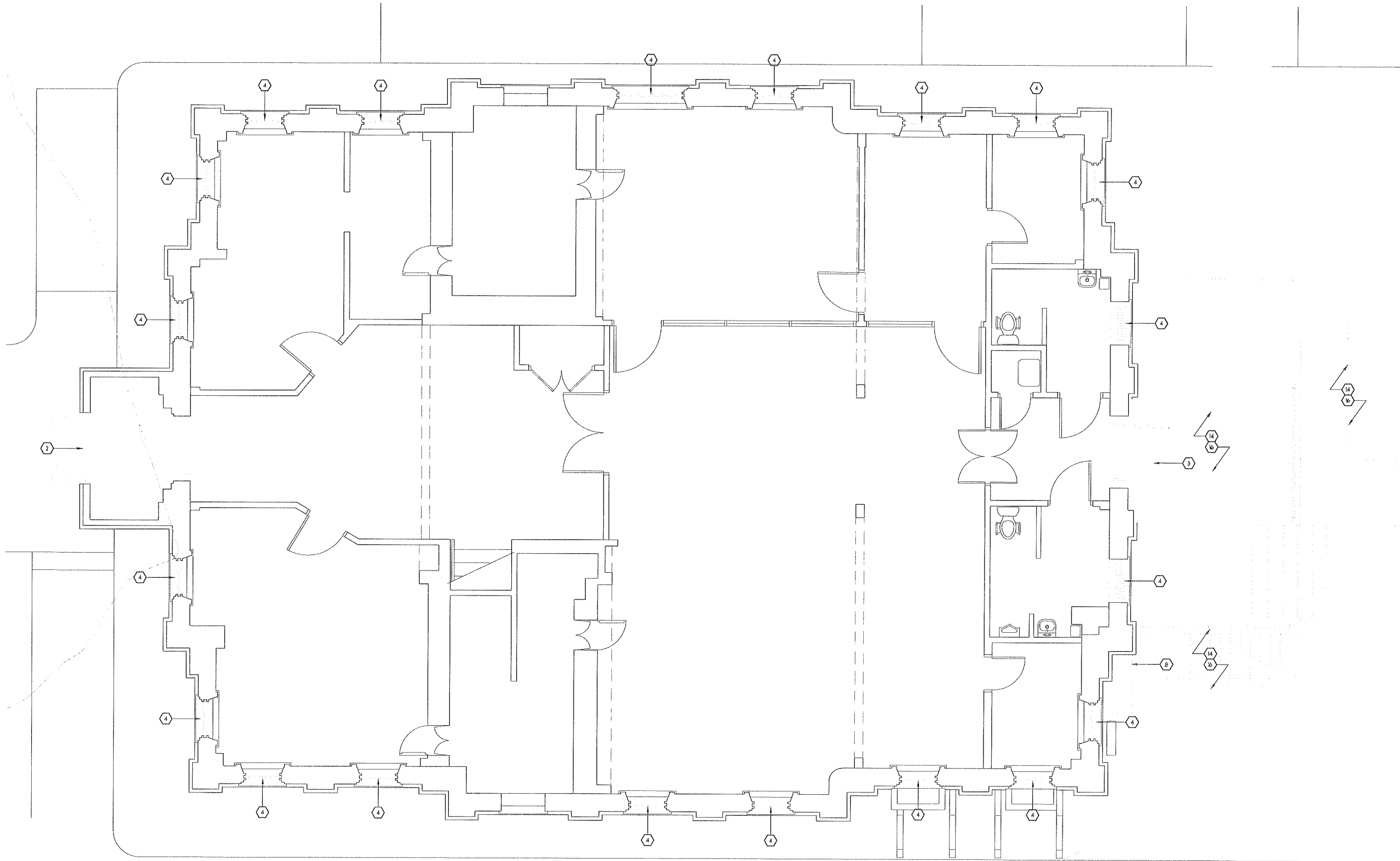
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REVISIONS

SHEET TITLE:
**Basement Level
 Demolition Plan**

D100



DEMOLITION LEGEND

EXISTING WALLS, DOORS, ETC. TO REMAIN. REMOVE MISC. FINISHES WHICH CONFLICT WITH NEW CONSTRUCTION

EXISTING WALLS, DOORS, ETC. TO BE REMOVED FROM FINISH FLOOR TO ROOF. CONTRACTOR SHALL INCLUDE IN SCOPE OF WORK MISC. DEMOLITION OF ITEMS NOT SHOWN ON THESE DRAWINGS TO PROVIDE THE INTENT OF THE DESIGN. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL ITEMS NOT SHOWN WHICH CONFLICT WITH DEMOLITION FOR ADDITIONAL INSTRUCTIONS. ALL DOORS, FRAMES, MILLWORK, ETC TO BE SALVAGED & STOCKPILED.

- DEMO KEYNOTE LEGEND**
- COORDINATE LOCATION WITH OWNER/ARCHITECT FOR TEST AREAS TO REMOVE PAINT FROM BRICK. TEST POSSIBLE METHODS TO REMOVE PAINT. SAND-BLASTING IS NOT AN ACCEPTABLE SOLUTION TO REMOVING PAINT. CONTRACTOR IS TO PROVIDE A TEN TEST AREAS TO BE APPROVED BY THE OWNER/ARCHITECT. REFER TO NPSA TECHNICAL BRIEFS FOR ADDITIONAL MASONRY RESTORATION AND TUCK POINTING REQUIREMENTS.
 - EXISTING DOOR TO BE REMOVED & EXISTING OPENING FOR NEW DOOR & FRAME.
 - REMOVE EXISTING DOOR & FRAME. PREPARE OPENING FOR NEW DOOR & FRAME.
 - REMOVE EXISTING WINDOW SASH & DETERIORATED PORTIONS OF FRAME, ETC. THAT CANNOT BE RESTORED. RE: NPS PRESERVATION BRIEFS.
 - REMOVE CONCRETE SLAB.
 - REMOVE EXISTING SHINGLES - REMOVE DETERIORATED DECKING - SALVAGE EXISTING DECK FOR RE-USE IN NEW CONSTRUCTION - PROTECT STRUCTURE FOR NEW CONSTRUCTION - RE: STRUCTURAL FOR SUPPORTS, ROOF RAFTERS & SUBSTRATE.
 - REMOVE EXISTING STEPS - PREPARE AREA FOR INFILL.
 - REMOVE ABANDONED MASONRY CHASE FROM GROUND TO TOP - SHORE ALL ADJACENT SURFACES/MEMBERS - STORE MASONRY FOR RE-USE IF IT MATCHES THE HISTORIC.
 - REMOVE ALL LOOSE MASONRY & MORTAR - PREP FOR REINSTALL W/ IN-KIND MASONRY & MORTAR. RE: SPEC SECTIONS 04860, 04520, 04801, NPS PRESERVATION BRIEF 24 NEW CONST.
 - CAREFULLY REMOVE CEMENTITIOUS STUCCO MATERIAL FROM STONE WATER TABLE. GENTLY CLEAN STONE SURFACE OF ANY ADDITIONAL STUCCO IN THE CRACKS AND CREVASSES. THEN REPAIR THE DETERIORATED STONES AS NECESSARY. LASTLY, REMOVE DETERIORATED MORTAR AND RE-TUCK POINT THESE AREAS.
 - EXCAVATE SOIL AT EXTERIOR WALL TO BOTTOM OF FOUNDATIONS. PREPARE WALL SURFACE TO APPLY WATERPROOFING MEMBRANE WITH PROTECTION COURSE.
 - REMOVE EXISTING METAL GUTTER AND DOWNSPOUTS - PRIME & PAINT. COLOR TO BE DETERMINED.
 - PREPARE AREA FOR NEW ROOF CONSTRUCTION. RE: STRUCTURAL FOR SUPPORTS, ROOF RAFTERS & SUBSTRATE.
 - DEMO EXISTING CONCRETE LANDING, RAMP, STEPS, GUARDRAILS AND HANDRAILS. SALVAGE GUARDRAILS AND HANDRAILS FOR OWNER.
 - EXISTING STAIRS TO REMAIN - PROTECT DURING CONSTRUCTION.
 - REMOVE EXISTING BASEMENT WALLS, FLOORS, DOORS, WINDOWS, FOUNDATIONS, ELECTRICAL, PLUMBING, MECHANICAL, ETC. TO PREPARE FOR NEW CONSTRUCTION. RE: NEW CONSTRUCTION - PROVIDE FOR SHORING OF EXISTING TO REMAIN - REPORT TO OWNER UNDERGROUND CONDITIONS.

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REVISIONS

NO.	DESCRIPTION

SHEET TITLE:

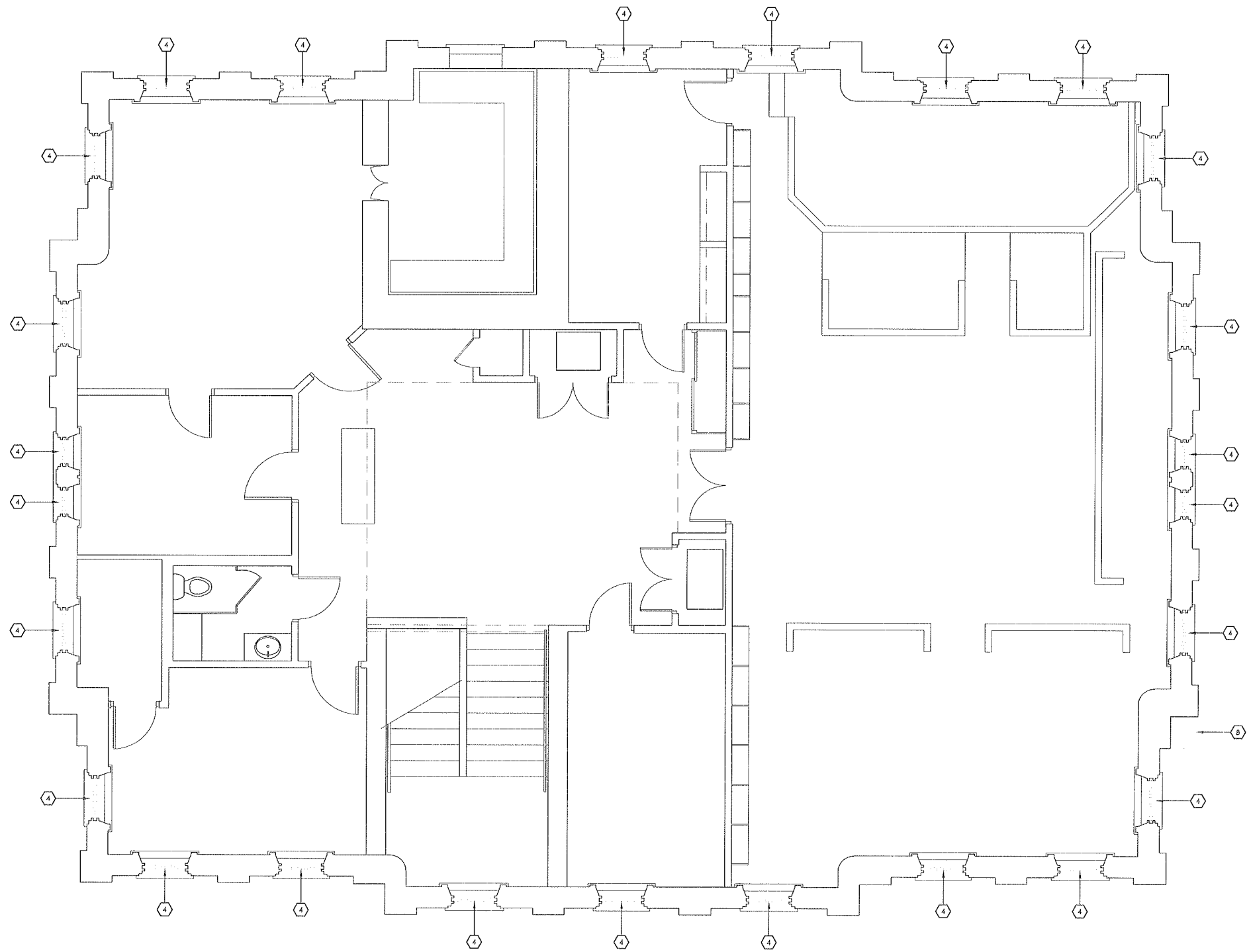
First Level Demolition Plan

D101

FIRST LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

NORTH



DEMOLITION LEGEND

EXISTING WALLS, DOORS, ETC. TO REMAIN. REMOVE MISC. FINISHES WHICH CONFLICT WITH NEW CONSTRUCTION

EXISTING WALLS, DOORS, ETC. TO BE REMOVED FROM FINISH FLOOR TO ROOF. CONTRACTOR SHALL INCLUDE IN SCOPE OF WORK MISC. DEMOLITION OF ITEMS NOT SHOWN ON THESE DRAWINGS TO PROVIDE THE INTENT OF THE DESIGN. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL ITEMS NOT SHOWN WHICH CONFLICT WITH DEMOLITION FOR ADDITIONAL INSTRUCTIONS. ALL DOORS, FRAMES, MILLWORK, ETC TO BE SALVAGED & STOCKPILED.

- DEMO KEYNOTE LEGEND**
- COORDINATE LOCATION WITH OWNER/ARCHITECT FOR TEST AREAS TO REMOVE PAINT FROM BRICK. TEST POSSIBLE METHODS TO REMOVE PAINT. SAND-BLASTING IS NOT AN ACCEPTABLE SOLUTION TO REMOVING PAINT. CONTRACTOR IS TO PROVIDE A TEN TEST AREAS TO BE APPROVED BY THE OWNER/ARCHITECT. REFER TO NFPA TECHNICAL BRIEF FOR ADDITIONAL MASONRY RESTORATION AND TUCK POINTING REQUIREMENTS.
 - EXISTING DOOR TO BE REMOVED & EXISTING FRAME TO REMAIN.
 - REMOVE EXISTING DOOR & FRAME. PREPARE OPENING FOR NEW DOOR & FRAME.
 - REMOVE EXISTING WINDOW SASH & DETERIORATED PORTIONS OF FRAME, ETC. THAT CANNOT BE RESTORED. RE: NFPA PRESERVATION BRIEF.
 - REMOVE CONCRETE SLAB.
 - REMOVE EXISTING SHINGLES - REMOVE DETERIORATED DECKING - SALVAGE EXISTING DECK FOR RE-USE IN NEW CONSTRUCTION - PROTECT STRUCTURE FOR NEW CONSTRUCTION - RE: STRUCTURAL FOR SUPPORTS, ROOF RAFTERS & SUBSTRATE.
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 - REMOVE ABANDONED MASONRY CHASE FROM GROUND TO TOP - SHORE ALL ADJACENT SURFACE MEMBERS - STORE MASONRY FOR RE-USE IF IT MATCHES THE HISTORIC.
 - REMOVE ALL LOOSE MASONRY & MORTAR - PREP FOR REINSTALL W/ IN-KIND MORTAR & MORTAR. RE: SPEC SECTIONS 04860, 04920, 04921, NFPA PRESERVATION BRIEF 24 NEW CONST.
 - CAREFULLY REMOVE CEMENTITIOUS STUCCO MATERIAL FROM STONE WATER TABLE. GENTLY CLEAN STONE SURFACE OF ANY ADDITIONAL STUCCO IN THE CRACKS AND CREVASSES, THEN REPAIR THE DETERIORATED STONES AS NECESSARY. LASTLY, REMOVE DETERIORATED MORTAR AND RE-TUCK POINT THESE AREAS.
 - EXCAVATE SOIL AT EXTERIOR WALL TO BOTTOM OF FOUNDATIONS. PREPARE WALL SURFACE TO APPLY WATERPROOFING MEMBRANE WITH PROTECTION COURSE.
 - REMOVE EXISTING METAL GUTTER AND DOWNSPOUTS - PRIME & PAINT. COLOR TO BE DETERMINED.
 - PREPARE AREA FOR NEW ROOF CONSTRUCTION. RE: STRUCTURAL FOR SUPPORTS, ROOF RAFTERS & SUBSTRATE.
 - DEMO EXISTING CONCRETE LANDING, RAMP, STEPS, GUARDRAILS AND HANDRAILS. SALVAGE GUARDRAILS AND HANDRAILS FOR OWNER.
 - EXISTING STAIRS TO REMAIN - PROTECT DURING CONSTRUCTION.
 - REMOVE EXISTING BASEMENT WALLS, FLOORS, DOORS, WINDOWS, FOUNDATIONS, ELECTRICAL, PLUMBING, MECHANICAL, ETC. TO PREPARE FOR NEW CONSTRUCTION. RE: NEW CONSTRUCTION - PROVIDE FOR SHORING OF EXISTING TO REMAIN - REPORT TO OWNER UNDERGROUND CONDITIONS.

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REVISIONS

SHEET TITLE
Second Level Demolition Plan

D102

GENERAL NOTES

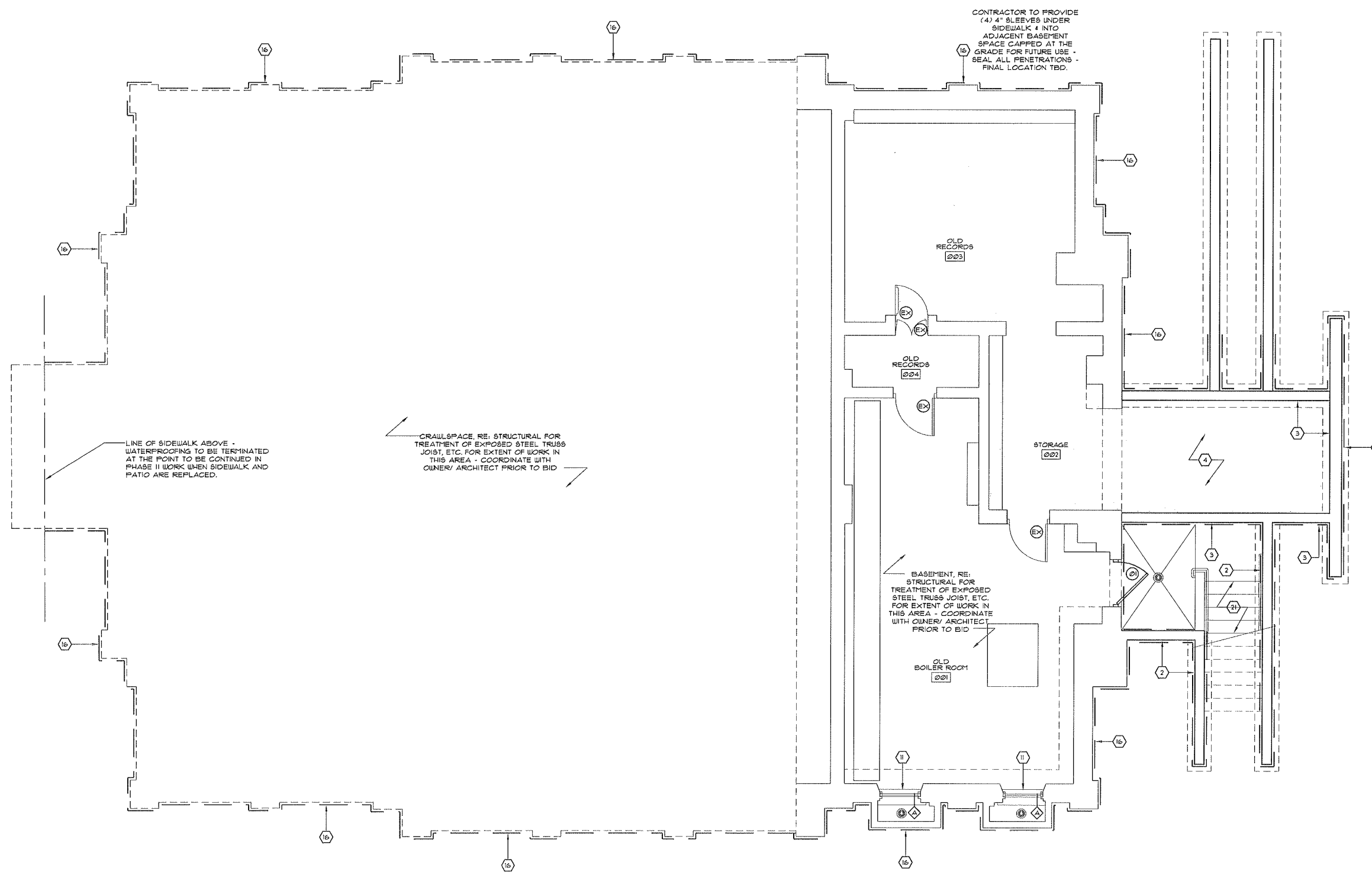
- ALL DIMENSIONS ARE TO NEW OR EXISTING FACE OF FINISHED WALL.
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- CONTRACTOR TO FIELD VERIFY EXTENT OF SIDEWALK THAT WILL NEED TO BE REPLACED DUE TO SITE WORK & FOUNDATION WATERPROOFING. PROVIDE TO THE OWNER AS SEPARATE NUMBER WITHIN THE BASE BID WITH QUANTITY & SCOPE.
- CONTRACTOR TO PROVIDE AS A LINE ITEM TO IN THE BASE BID A DESIGN BUILD LIGHTING PROTECTION SYSTEM IN ACCORDANCE WITH UL 924, NFPA 700, & LPI 119 - ELEMENTS TO BE CONCEALED WITH THE EXCEPTION OF STRIKE TERMINATION DEVICES (LIGHTING RODS). PROVIDE SPECIFICATION TO OWNER OF SYSTEM WITH BID PACKET FOR REVIEW.

LEGEND

- EXISTING WALL
- NEW INTERIOR PARTITION
- NEW 2 HOUR PARTITION
- RE: SHEET A501 FOR DOOR SCHEDULE
- RE: SHEET A401 FOR PARTITION TYPES
- RE: SHEET A502 FOR WINDOW TYPES & WINDOW SCHEDULE

KEYNOTE LEGEND

- NEW ACCESSIBLE CONCRETE RAMP - NOT TO EXCEED 1:12 SLOPE.
- NEW CONC RETAINING WALL W/ STONE VENEER & TOP CAP TO MATCH EXISTING STONE BASE ON BUILDING, RE: STRUCTURAL.
- NEW CONC BASEMENT WALL W/ STONE VENEER & TOP CAP TO MATCH EXISTING STONE BASE ON BUILDING, RE: STRUCTURAL.
- NEW CONCRETE SLAB - MATCH EXISTING BASEMENT ELEVATION - FINAL EXTENT OF WORK TO BE FIELD VERIFIED PRIOR TO COMMENCING WORK, RE: STRUCTURAL.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING TREADS AND RISERS - PROTECT DURING CONST.
- NEW CONCRETE SIDEWALK, RE: C101.
- NEW METAL GUARDRAILS/ HANDRAILS EACH SIDE - PRIME & PAINT, RE: X-A412.
- REMOVE ALL LOOSE MASONRY & MORTAR AT WINDOW DOOR OPENINGS (INCLUDING HEAD, JAMB & SILL) & LOCATIONS OF SETTLEMENT CRACKING - REINSTALL W/ IN-KIND MASONRY & MORTAR TO MATCH, RE: SPEC SECTIONS 04810, 04860, 04920, 04931 & NPS PRESERVATION BRIEF 2.
- NEW WOOD FRONT ENTRY & TRANSOM WITH RESTORED SURROUND - REPLACE ALL ITEMS NOT ABLE TO BE USE IN-KIND TO MATCH EXISTING PROFILES, FIELD VERIFY - REPLACE MISSING ELEMENTS TO COMPLETE MILLWORK.
- NEW WOOD WINDOW SASH, FRAME, & INTERIOR SILL/ TRIM - FIELD VERIFY OPENING CONDITION, REPAIR EXISTING FRAME/ TRIM TO MAXIMUM EXTENT POSSIBLE - NOTIFY OWNER PRIOR TO COMMENCING WORK IF HISTORIC OR NEW FRAME & TRIM WILL BE USED FOR ADDITIONAL INSTRUCTION.
- NEW WOOD WINDOW IN EXISTING RESTORED WOOD FRAMES & TRIM PER NPS GUIDELINES, RE: A501 - REPAIR OR REPLACE IN-KIND ALL ITEMS NOT ABLE TO BE RESTORED TO MATCH EXISTING PROFILES, FIELD VERIFY.
- 80' CUT PRF CEDAR SHINGLES OVER 1/2" ASPHALT SATURATE FELT UNDERLAYMENT OVER EXISTING/ NEW DECKING - REPLACE ALL DETERIORATED EXISTING DECKING IN-KIND, RE: STRUCT.
- AREA OF FUTURE MASONRY CHIMNEY - BLOCK OUT PER STRUCTURAL FOR FUTURE ADDITION OF CHIMNEY IN PHASE II, SEAL TOP OF EXISTING FLUE, RE: STRUCT.
- NEW AREA DRAIN - TIGHTLINE TO STORM SEWER.
- FLUID APPLIED WATERPROOFING WITH 1/2" COVER BOARD FROM GRADE TO BOTTOM OF FOUNDATIONS - BACKFILL WITH GRAVEL INSIDE FILTER FABRIC TO 1" BELOW GRADE BACK FILL REMAINING WITH TOPSOIL TO GRADE - PROVIDING POSITIVE DRAINAGE AWAY FROM BUILDING ON ALL SIDES - GRAVEL WILL CONTAIN PERIMETER DRAINAGE TIGHTLINED TO STORM.
- NEW WOOD ENTRY DOOR, FRAME, TRANSOM SASH IN RESTORED WOOD SURROUND - REPAIR OR PLACE IN-KIND ALL DETERIORATED EXISTING ELEMENTS.
- NEW PRE-FINISHED METAL GUTTER & DOWNSPOUTS - TIGHTLINE TO STORM SEWER - CUSTOM COLOR - COLOR TBD.
- NEW WOOD OPERABLE SHUTTERS - PROVIDE & INSTALL HISTORIC REPLICA HARDWARE - COORDINATE WITH OWNER/ ARCHITECT PRIOR TO ORDERING - FINISH TO MATCH ALL EXTERIOR HARDWARE, RE: A502.
- RESTORED WOOD BRACKET, USE IN-KIND MATERIALS, DIMENSIONS, AND CONSTRUCTION TO MATCH EXISTING HISTORIC BRACKETS.
- NEW CONCRETE STAIR.
- NEW METAL GUARDRAILS - PRIME & PAINT - COLOR TO MATCH ALL OTHER EXTERIOR HARDWARE - COORDINATE WITH THE OWNER/ ARCHITECT PRIOR TO PAINTING.
- NEW METAL 90° SWING GATE, POWDERCOAT - COLOR TBD.
- NEW SOFFIT VENTS SPACED EQUALLY ON EACH SIDE OF THE ROOF - PAINT TO MATCH SOFFIT - COLOR TBD.
- NEW CEDAR RIDGE CAP OVER CONTINUOUS LOW PROFILE RIDGEHIP VENT.
- EXISTING BEAD BOARD SOFFIT OVER 3/8" SHEATHING - REPAIR OR REPLACE DETERIORATED BEAD BOARD - PRIME & PAINT, COLOR TBD.
- EXISTING 1x WOOD FASCIA OVER NEW SUBFASCIA - REPAIR OR REPLACE DETERIORATED FASCIA - PRIME & PAINT, COLOR TBD.
- AUTOMATIC DOOR OPENER/ PUSH PAD.
- NEW WOOD CLAPBOARD SIDING - PRIME & PAINT - COLOR TBD.
- NEW WOOD TRIM - PRIME & PAINT - COLOR TBD.
- NEW WOOD BRACKET, CORNICE & DENTILS TO MATCH HISTORIC PROFILES - SIZE & EXACT SHAPE MAY VARY TO MEET SPECIFIC CONDITIONS OF NEW CUPOLA.



NORTH

SCALE: 1/4"=1'-0"

BASEMENT FLOOR PLAN

SIKES | ABERNATHIE
ARCHITECTS

406 S. BOULDER AVENUE, SUITE 700 TULSA, OK 74103
918.599.0541 FAX 918.599.0983

12/15/12

Cherokee Nation Enterprises/ Culture & Tourism

Cherokee Nation Capitol - Phase One

Tahlequah, OK

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DRAWN BY:	KPG
CHECKED BY:	MCS
ISSUED:	12/15/12
REVISIONS	

SHEET TITLE:

Basement Level Floor Plan

A100

GENERAL NOTES

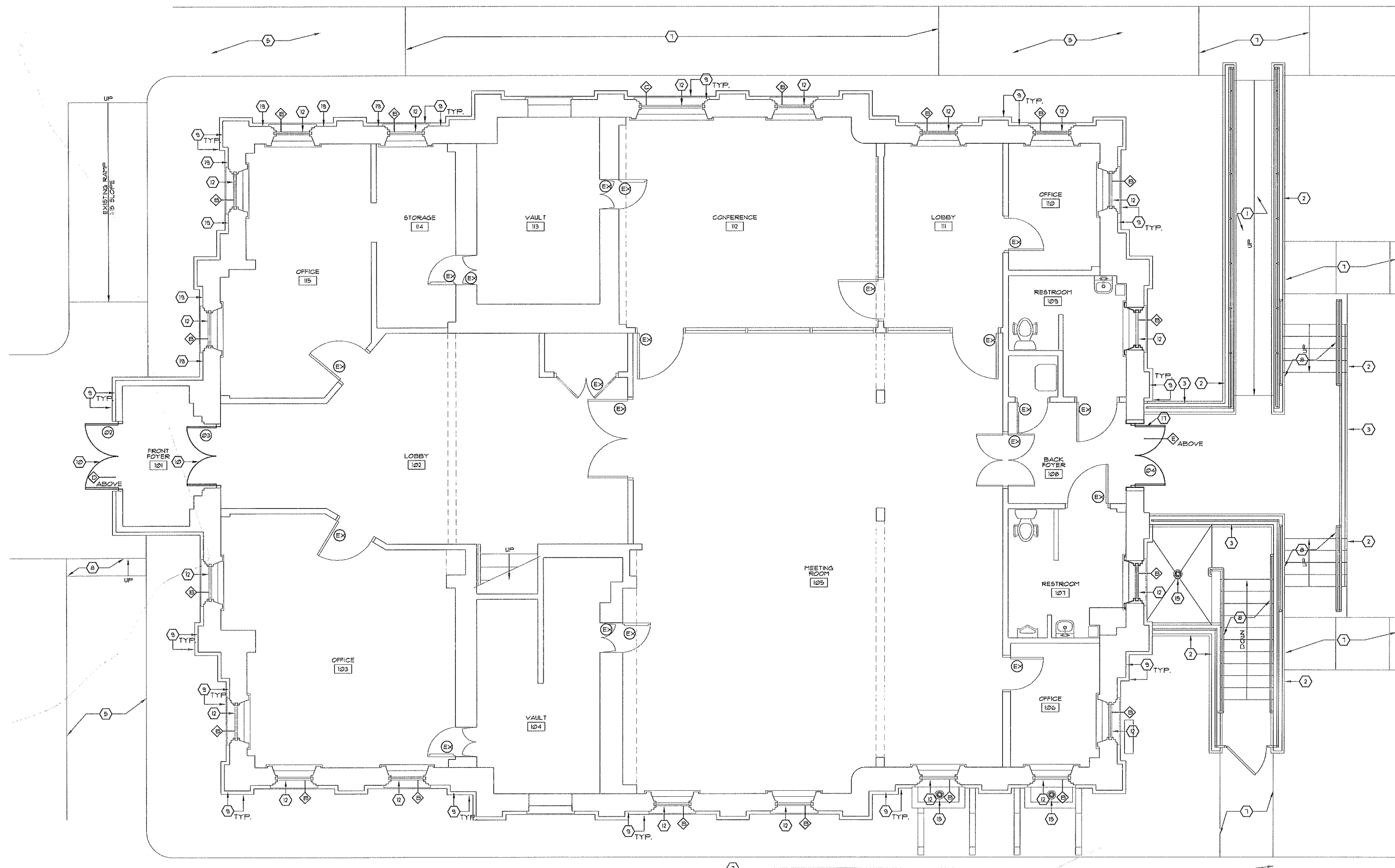
- ALL DIMENSIONS ARE TO NEW OR EXISTING FACE OF FINISHED WALL.
- EXTERIOR MASONRY TO MATCH COLOR COURSE & BOND OF BRICK AT EXTERIOR CORNERS. CONTRACTOR TO FIELD VERIFY EXTENT OF MASONRY WORK PRIOR TO BID - ALL CRACKS AND/OR DETERIORATED AREAS TO BE REPAIRED/RESTORED TO ORIGINAL COURSE AND BOND.
- CONTRACTOR SHALL REMOVE & DELIVER TO OWNER FOR STORAGE ALL ITEMS DEEMED TO BE REUSED IN NEW CONSTRUCTION OR HISTORIC FABRIC.
- CONTRACTOR TO FIELD VERIFY EXTENT OF SIDEWALK THAT WILL NEED TO BE REPLACED DO TO SITE WORK & FOUNDATION WATERPROOFING. PROVIDE TO THE OWNER AS SEPARATE NUMBER WITHIN THE BASE BID WITH QUANTITY & SCOPE.
- CONTRACTOR TO PROVIDE AS A LINE ITEM TO IN THE BASE BID A DESIGN BUILD LIGHTING PROTECTION SYSTEM IN ACCORDANCE WITH UL 96A, NFPA 700, & LPI 115 - ELEMENTS TO BE CONCEALED WITH THE EXCEPTION OF STRIKE TERMINATION DEVICES (LIGHTING RODS). PROVIDE SPECIFICATION TO OWNER OF SYSTEM WITH BID PACKET FOR REVIEW.

LEGEND

- EXISTING WALL
- NEW INTERIOR PARTITION
- NEW 0 HOUR PARTITION
- RE. SHEET A501 FOR DOOR SCHEDULE
- RE. SHEET A401 FOR PARTITION TYPES
- RE. SHEET A502 FOR WINDOW TYPES & WINDOW SCHEDULE

KEYNOTE LEGEND

- NEW ACCESSIBLE CONCRETE RAMP - NOT TO EXCEED 1:12 SLOPE.
- NEW CONC RETAINING WALL W/ STONE VENEER & TOP CAP TO MATCH EXISTING STONE BASE ON BUILDING. RE: STRUCTURAL.
- NEW CONC BASEMENT WALL W/ STONE VENEER & TOP CAP TO MATCH EXISTING STONE BASE ON BUILDING. RE: STRUCTURAL.
- NEW CONCRETE SLAB - MATCH EXISTING BASEMENT ELEVATION - FINAL EXTENT OF WORK TO BE FIELD VERIFIED PRIOR TO COMMENCING WORK. RE: STRUCTURAL.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING TRENDS AND RISERS - PROTECT DURING CONST.
- NEW CONCRETE SIDEWALK. RE: C101.
- NEW METAL GUARDRAILS/ HANDRAILS EACH SIDE - PRIME & PAINT. RE: X-A112.
- REMOVE ALL LOOSE MASONRY & MORTAR AT WINDOW, DOOR OPENINGS/INCLUDING HEAD, JAMB & SILL & LOCATIONS OF SETTLEMENT CRACKING - REINSTALL W/ IN-KIND MASONRY & MORTAR TO MATCH. RE: SPEC SECTIONS 0410, 0420, 0450, 0490 & NPS PRESERVATION BRIEF 2.
- NEW WOOD FRONT ENTRY & TRANSOM WITH RESTORED SURROUND - REPLACE ALL ITEMS NOT ABLE TO BE USE IN-KIND TO MATCH EXISTING PROFILES, FIELD VERIFY - REPLACE MISSING ELEMENTS TO COMPLETE MILLWORK.
- NEW WOOD WINDOW, SASH, FRAME, & INTERIOR SILL/ TRIM - FIELD VERIFY OPENING CONDITION. REPAIR EXISTING FRAME/ TRIM TO MAXIMUM EXTENT POSSIBLE - NOTIFY OWNER PRIOR TO COMMENCING WORK IF HISTORIC OR NEW FRAME & TRIM WILL BE USED FOR ADDITIONAL INSTRUCTION.
- NEW WOOD WINDOW IN EXISTING RESTORED WOOD FRAMES & TRIM PER NPS GUIDELINES. RE: A501 - REPAIR OR REPLACE IN-KIND ALL ITEMS NOT ABLE TO BE RESTORED TO MATCH EXISTING PROFILES, FIELD VERIFY.
- 80 CUT FRT CEDAR SHINGLES OVER 2" ASPHALT SATURATE FELT UNDERLAYMENT OVER EXISTING/ NEW DECKING - REPLACE ALL DETERIORATED EXISTING DECKING IN-KIND. RE: STRUCT.
- AREA OF FUTURE MASONRY CHIMNEY - BLOCK OUT PER STRUCTURAL FOR FUTURE ADDITION OF CHIMNEY IN PHASE II, SEAL TOP OF EXISTING FLUE. RE: STRUCT.
- NEW AREA DRAIN - TIGHTLINE TO STORM SEWER.
- FLUID APPLIED WATERPROOFING WITH 1/2" COVER BOARD FROM GRADE TO BOTTOM OF FOUNDATIONS - BACKFILL WITH GRAVEL INSIDE FILTER FABRIC TO 1" BELOW GRADE BACK FILL REMAINING WITH TOPSOIL TO GRADE - PROVIDING POSITIVE DRAINAGE AWAY FROM BUILDING ON ALL SIDES - GRAVEL WILL CONTAIN PERIMETER DRAINAGE TIGHTLINED TO STORM.
- NEW WOOD ENTRY DOOR, FRAME, TRANSOM SASH IN RESTORED WOOD SURROUND - REPAIR OR PLACE IN-KIND ALL DETERIORATED EXISTING ELEMENTS.
- NEW PRE-FINISHED METAL GUTTER & DOWNSPOUTS - TIGHTLINE TO STORM SEWER - CUSTOM COLOR - COLOR TBD.
- NEW WOOD OPERABLE SHUTTERS - PROVIDE & INSTALL HISTORIC REPLICA HARDWARE - COORDINATE WITH OWNER ARCHITECT PRIOR TO ORDERING - FINISH TO MATCH ALL EXTERIOR HARDWARE. RE: A502.
- RESTORED WOOD BRACKET, USE IN-KIND MATERIALS, DIMENSIONS, AND CONSTRUCTION TO MATCH EXISTING HISTORIC BRACKETS.
- NEW CONCRETE STAIR.
- NEW METAL GUARDRAILS - PRIME & PAINT - COLOR TO MATCH ALL OTHER EXTERIOR HARDWARE - COORDINATE WITH THE OWNER/ ARCHITECT PRIOR TO PAINTING.
- NEW METAL 30" SWING GATE, POWDERCOAT - COLOR TBD.
- NEW SOFFIT VENTS SPACED EQUALLY ON EACH SIDE OF THE ROOF - PAINT TO MATCH SOFFIT - COLOR TBD.
- NEW CEDAR RIDGE CAP OVER CONTINUOUS LOW PROFILE RIDGE/HIP VENT.
- EXISTING BEAD BOARD SOFFIT OVER 3/8" SHEATHING - REPAIR OR REPLACE DETERIORATED BEAD BOARD - PRIME & PAINT, COLOR TBD.
- EXISTING 1x WOOD FASCIA OVER NEW SUBFASCIA - REPAIR OR REPLACE DETERIORATED FASCIA - PRIME & PAINT, COLOR TBD.
- AUTOMATIC DOOR OPENER/ PUSH PAD.
- NEW WOOD CLAFBOARD SIDING - PRIME & PAINT - COLOR TBD.
- NEW WOOD TRIM - PRIME & PAINT - COLOR TBD.
- NEW WOOD BRACKET, CORNICE & DENTILS TO MATCH HISTORIC PROFILES - SIZE & EXACT SHAPE MAY VARY TO MEET SPECIFIC CONDITIONS OF NEW CUPOLA.



FIRST LEVEL FLOOR PLAN
 SCALE: 1/4"=1'-0"
 NORTH

SIKES ABERNATHIE ARCHITECTS
 406 S BOULDER AVENUE, SUITE 700 TULSA, OK 74103
 918.598.0541 FAX 918.599.0983
 LICENSED ARCHITECTS STATE OF OKLAHOMA

Cherokee Nation Capitol - Phase One
 Cherokee Nation Enterprises/ Culture & Tourism
 Tahlequah, OK

DRAWN BY:	KPG
CHECKED BY:	MOS
ISSUED:	10/15/12
REVISIONS	

First Level Floor Plan

A101

GENERAL NOTES

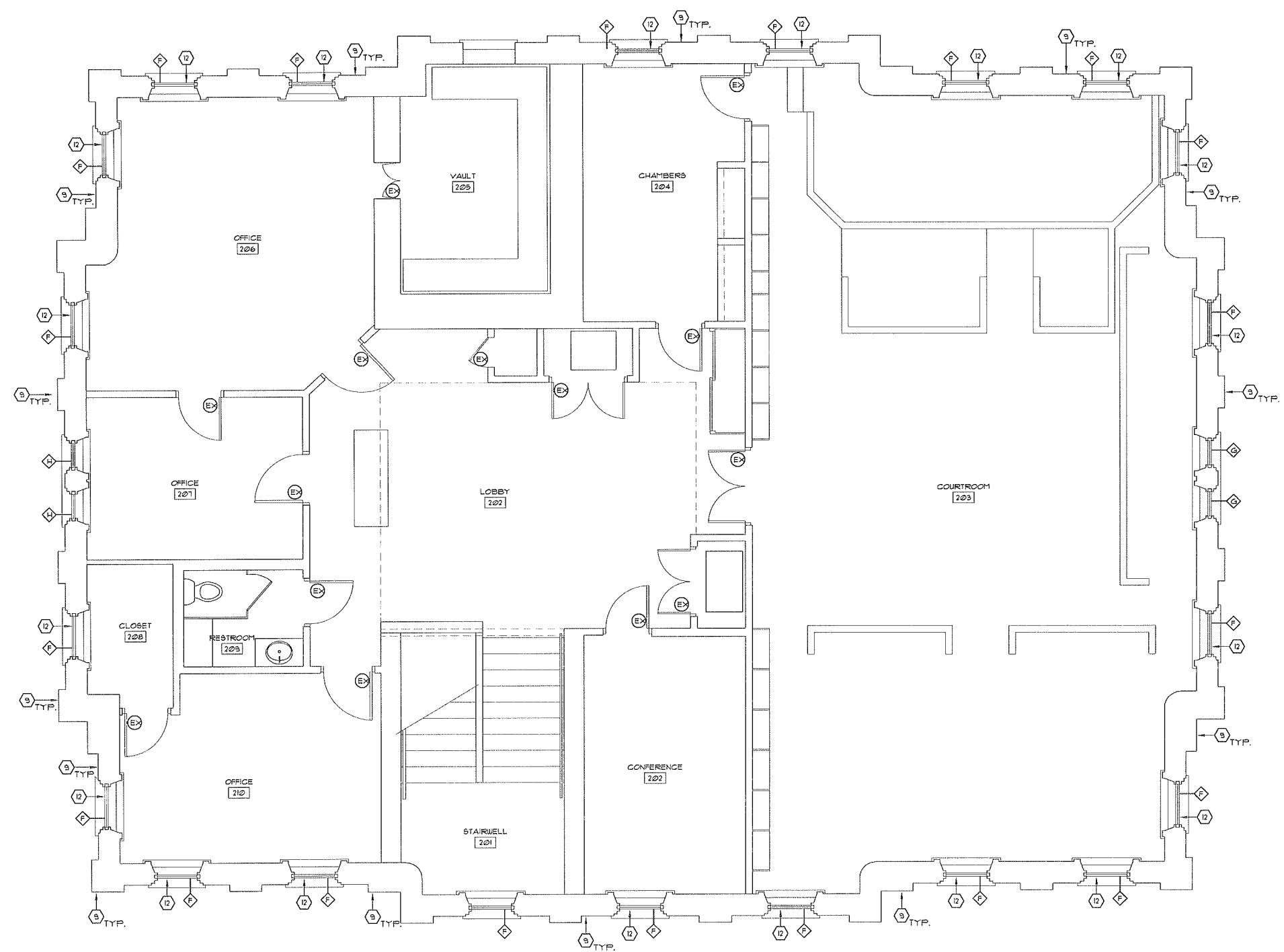
- ALL DIMENSIONS ARE TO NEW OR EXISTING FACE OF FINISHED WALL.
- EXTERIOR MASONRY TO MATCH COLOR COURSE & BOND OF BRICK AT EXTERIOR CORNERS. CONTRACTOR TO FIELD VERIFY EXTENT OF MASONRY WORK PRIOR TO BID - ALL CRACKS AND/OR DETEIORATED AREAS TO BE REPAIRED/RESTORED TO ORIGINAL COURSE AND BOND.
- CONTRACTOR SHALL REMOVE & DELIVER TO OWNER FOR STORAGE ALL ITEMS DEEMED TO BE REUSED IN NEW CONSTRUCTION OR HISTORIC FABRIC.
- CONTRACTOR TO FIELD VERIFY EXTENT OF SIDEWALK THAT WILL NEED TO BE REPLACED DO TO SITE WORK & FOUNDATION WATERPROOFING. PROVIDE TO THE OWNER AS SEPARATE NUMBER WITHIN THE BASE BID WITH QUANTITY & SCOPE.
- CONTRACTOR TO PROVIDE AS A LINE ITEM TO IN THE BASE BID A DESIGN BUILD LIGHTING PROTECTION SYSTEM IN ACCORDANCE WITH UL 96A, NFPA 780, & LPI 115 - ELEMENTS TO BE CONCEALED WITH THE EXCEPTION OF STRIKE TERMINATION DEVICES (LIGHTING RODS). PROVIDE SPECIFICATION TO OWNER OF SYSTEM WITH BID PACKET FOR REVIEW.

LEGEND

- EXISTING WALL
- NEW INTERIOR PARTITION
- NEW 0 HOUR PARTITION
- RE. SHEET A501 FOR DOOR SCHEDULE
- RE. SHEET A401 FOR PARTITION TYPES
- RE. SHEET A502 FOR WINDOW TYPES & WINDOW SCHEDULE

KEYNOTE LEGEND

- NEW ACCESSIBLE CONCRETE RAMP - NOT TO EXCEED 1/2 SLOPE.
- NEW CONC RETAINING WALL W/ STONE VENEER & TOP CAP TO MATCH EXISTING STONE BASE ON BUILDING, RE: STRUCTURAL.
- NEW CONC BASEMENT WALL W/ STONE VENEER & TOP CAP TO MATCH EXISTING STONE BASE ON BUILDING, RE: STRUCTURAL.
- NEW CONCRETE SLAB - MATCH EXISTING BASEMENT ELEVATION - FINAL EXTENT OF WORK TO BE FIELD VERIFIED PRIOR TO COMMENCING WORK, RE: STRUCTURAL.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING TREADS AND RISERS - PROTECT DURING CONST.
- NEW CONCRETE SIDEWALK, RE: C101.
- NEW METAL GUARDRAILS/ HANDRAILS EACH SIDE - PRIME & PAINT, RE: X-A412.
- REMOVE ALL LOOSE MASONRY & MORTAR AT WINDOW, DOOR OPENINGS INCLUDING HEAD, JAMB & SILL; & LOCATIONS OF SETTLEMENT CRACKING - REINSTALL W/ IN-KIND MASONRY & MORTAR TO MATCH, RE. SPEC SECTIONS 04810, 04860, 04920, 04911 & NFS PRESERVATION BRIEF 2.
- NEW WOOD FRONT ENTRY & TRANSOM WITH RESTORED BURROUND - REPLACE ALL ITEMS NOT ABLE TO BE USE IN-KIND TO MATCH EXISTING PROFILES, FIELD VERIFY - REPLACE MISSING ELEMENTS TO COMPLETE MILLWORK.
- NEW WOOD WINDOW, SASH, FRAME, & INTERIOR SILL/ TRIM - FIELD VERIFY OPENING CONDITION. REPAIR EXISTING FRAME/ TRIM TO MAXIMUM EXTENT POSSIBLE - NOTIFY OWNER PRIOR TO COMMENCING WORK IF HISTORIC OR NEW FRAME & TRIM WILL BE USED FOR ADDITIONAL INSTRUCTION.
- NEW WOOD WINDOW IN EXISTING RESTORED WOOD FRAMES & TRIM PER NFS GUIDELINES, RE: A501 - REPAIR OR REPLACE IN-KIND ALL ITEMS NOT ABLE TO BE RESTORED TO MATCH EXISTING PROFILES, FIELD VERIFY.
- 90 CUT FRT CEDAR SHINGLES OVER 1/2" ASPHALT SATURATE FELT UNDERLAYMENT OVER EXISTING/ NEW DECKING - REPLACE ALL DETEIORATED EXISTING DECKING IN-KIND, RE: STRUCT.
- AREA OF FUTURE MASONRY CHIMNEY - BLOCK OUT PER STRUCTURAL FOR FUTURE ADDITION OF CHIMNEY IN PHASE II, SEAL TOP OF EXISTING FLUE, RE: STRUCT.
- NEW AREA DRAIN - TIGHTLINE TO STORM SEWER.
- FLUID APPLIED WATERPROOFING WITH 1/2" COVER BOARD FROM GRADE TO BOTTOM OF FOUNDATIONS - BACKFILL WITH GRAVEL INSIDE FILTER FABRIC TO 1" BELOW GRADE BACK FILL REMAINING WITH TOPSOIL TO GRADE - PROVIDING POSITIVE DRAINAGE AWAY FROM BUILDING ON ALL SIDES - GRAVEL WILL CONTAIN PERIMETER DRAINAGE TIGHTLINED TO STORM.
- NEW WOOD ENTRY DOOR, FRAME, TRANSOM SASH IN RESTORED WOOD BURROUND - REPAIR OR PLACE IN-KIND ALL DETEIORATED EXISTING ELEMENTS.
- NEW PRE-FINISHED METAL GUTTER & DOWNSPOUTS - TIGHTLINE TO STORM SEWER - CUSTOM COLOR - COLOR TBD.
- NEW WOOD OPERABLE SHUTTERS - PROVIDE & INSTALL HISTORIC REPLICA HARDWARE - COORDINATE WITH OWNER/ ARCHITECT PRIOR TO ORDERING - FINISH TO MATCH ALL EXTERIOR HARDWARE, RE: A502.
- RESTORED WOOD BRACKET, USE IN-KIND MATERIALS, DIMENSIONS, AND CONSTRUCTION TO MATCH EXISTING HISTORIC BRACKETS.
- NEW CONCRETE STAIR.
- NEW METAL GUARDRAILS - PRIME & PAINT - COLOR TO MATCH ALL OTHER EXTERIOR HARDWARE - COORDINATE WITH THE OWNER/ ARCHITECT PRIOR TO PAINTING.
- NEW METAL 90° SWING GATE, POWDERCOAT - COLOR TBD.
- NEW SOFFIT VENTS SPACED EQUALLY ON EACH SIDE OF THE ROOF- PAINT TO MATCH SOFFIT - COLOR TBD.
- NEW CEDAR RIDGE CAP OVER CONTINUOUS LOW PROFILE RIDGE/HIP VENT.
- EXISTING BEAD BOARD SOFFIT OVER 3/8" SHEATHING - REPAIR OR REPLACE DETEIORATED BEAD BOARD - PRIME & PAINT, COLOR TBD.
- EXISTING IX WOOD FASCIA OVER NEW SUBFASCIA - REPAIR OR REPLACE DETEIORATED FASCIA - PRIME & PAINT, COLOR TBD.
- AUTOMATIC DOOR OPENER/ PUSH PAD.
- NEW WOOD CLAPBOARD SIDING - PRIME & PAINT - COLOR TBD.
- NEW WOOD TRIM - PRIME & PAINT - COLOR TBD.
- NEW WOOD BRACKET, CORNICE & DENTILS TO MATCH HISTORIC PROFILES - SIZE & EXACT SHAPE MAY VARY TO MEET SPECIFIC CONDITIONS OF NEW CUPOLA.



NORTH
 SCALE: 1/4"=1'-0"
SECOND LEVEL FLOOR PLAN

SIKES ABERNATHIE ARCHITECTS
 406 S BOULDER AVENUE, SUITE 700 TULSA, OK 74103
 918.589.0541 FAX 918.589.0983
 02/15/12

Cherokee Nation Enterprises/ Culture & Tourism
Cherokee Nation Capitol - Phase One
 Tahlequah, OK
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DRAWN BY:	KPG
CHECKED BY:	MOB
ISSUED:	12/15/12
REVISIONS	

SHEET TITLE:
Second Level Floor Plan

A102

GENERAL NOTES

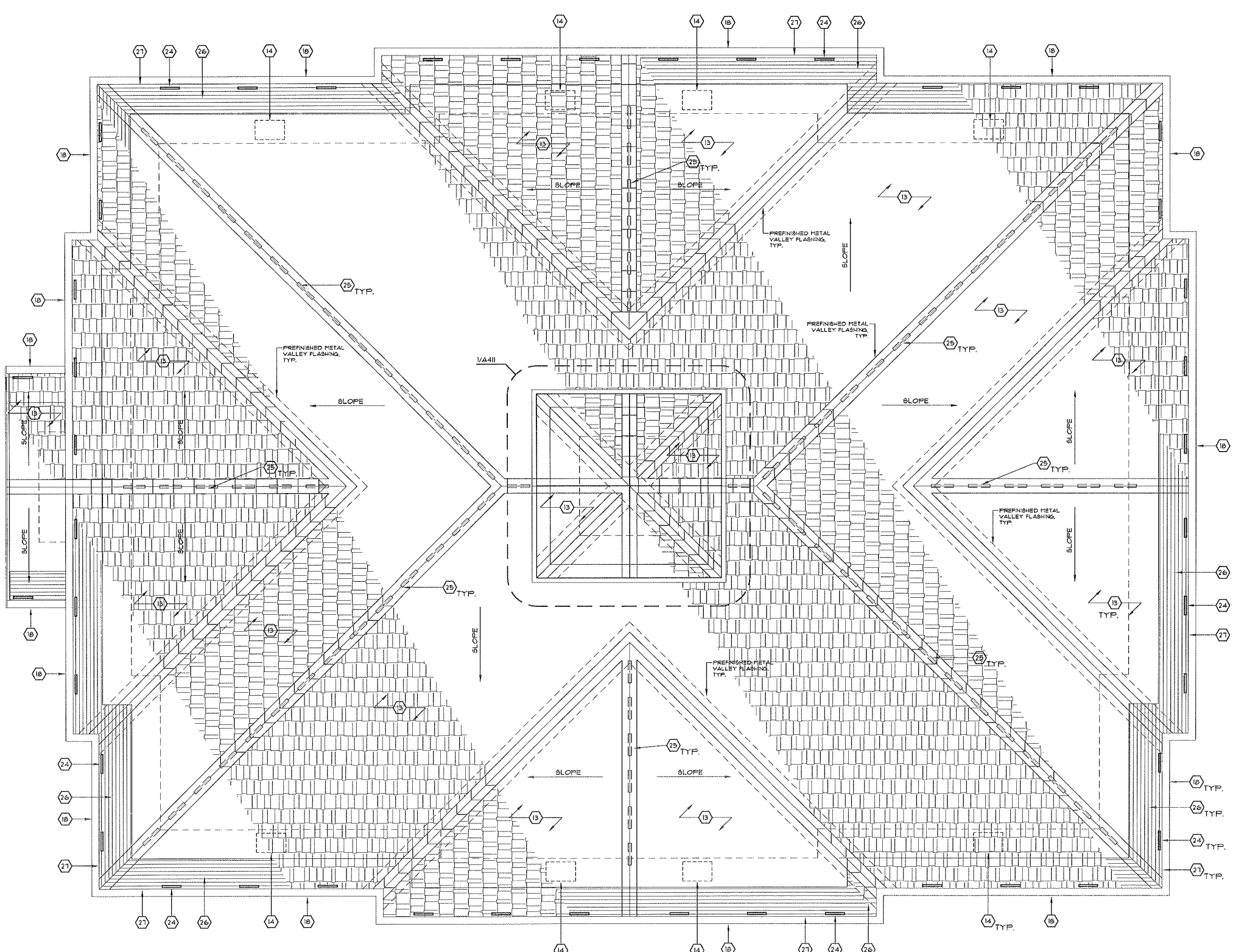
1. ALL DIMENSIONS ARE TO NEW OR EXISTING FACE OF FINISHED WALL.
2. EXTERIOR MASONRY TO MATCH COLOR COURSE & BOND OF BRICK AT EXTERIOR CORNERS. CONTRACTOR TO FIELD VERIFY EXTENT OF MASONRY WORK PRIOR TO BID - ALL CRACKS AND/OR DETERIORATED AREAS TO BE REPAIRED/RESTORED TO ORIGINAL COURSE AND BOND.
3. CONTRACTOR SHALL REMOVE & DELIVER TO OWNER FOR STORAGE ALL ITEMS DEEMED TO BE REUSED IN NEW CONSTRUCTION OR HISTORIC FABRIC.
4. CONTRACTOR TO FIELD VERIFY EXTENT OF SIDEWALK THAT WILL NEED TO BE REPLACED DO TO SITE WORK. FOUNDATION WATERPROOFING. PROVIDE TO THE OWNER AS SEPARATE NUMBER WITHIN THE BASE BID WITH QUANTITY & SCOPE.
5. CONTRACTOR TO PROVIDE AS A LINE ITEM TO IN THE BASE BID A DESIGN BUILD LIGHTING PROTECTION SYSTEM IN ACCORDANCE WITH ILL. 98A, NFPA 1502, & LPI 175 - ELEMENTS TO BE CONCEALED WITH THE EXCEPTION OF STRIKE TERMINATION DEVICES (LIGHTING RODS) PROVIDE SPECIFICATION TO OWNER OF SYSTEM WITH BID PACKET FOR REVIEW.

LEGEND

- EXISTING WALL
- NEW INTERIOR PARTITION
- NEW 2 HOUR PARTITION
- ⊙ RE: SHEET A501 FOR DOOR SCHEDULE
- RE: SHEET A401 FOR PARTITION TYPES
- ◇ RE: SHEET A502 FOR WINDOW TYPES & WINDOW SCHEDULE

KEYNOTE LEGEND

1. NEW ACCESSIBLE CONCRETE RAMP - NOT TO EXCEED 1/12 SLOPE.
2. NEW CONC RETAINING WALL, W/ STONE VENEER & TOP CAP TO MATCH EXISTING STONE BASE ON BUILDING, RE: STRUCTURAL.
3. NEW CONC BASEMENT WALL, W/ STONE VENEER & TOP CAP TO MATCH EXISTING STONE BASE ON BUILDING, RE: STRUCTURAL.
4. NEW CONCRETE SLAB - MATCH EXISTING BASEMENT ELEVATION - FINAL EXTENT OF WORK TO BE FIELD VERIFIED PRIOR TO COMMENCING WORK, RE: STRUCTURAL.
5. EXISTING CONCRETE SIDEWALK TO REMAIN.
6. EXISTING TREADS AND RISERS - PROTECT DURING CONST.
7. NEW CONCRETE SIDEWALK, RE: C101.
8. NEW METAL GUARDRAILS/ HANDRAILS EACH SIDE - FRAME & PAINT, RE: X-A412.
9. REMOVE ALL LOOSE MASONRY & MORTAR AT WINDOW, DOOR OPENINGS (INCLUDING HEAD, JAMB & SILL) & LOCATIONS OF SETTLEMENT CRACKING - REINSTALL W/ IN-KIND MASONRY & MORTAR TO MATCH, RE: SPEC SECTIONS 04800, 04802, 04920, 04911 & NPS PRESERVATION BRIEF 2.
10. NEW WOOD FRONT ENTRY & TRANSOM WITH RESTORED SURROUND - REPLACE ALL ITEMS NOT ABLE TO BE USE IN-KIND TO MATCH EXISTING PROFILES, FIELD VERIFY - REPLACE MISSING ELEMENTS TO COMPLETE MILLWORK.
11. NEW WOOD WINDOW, SASH, FRAME, & INTERIOR SILL/ TRIM - FIELD VERIFY OPENING CONDITION, REPAIR EXISTING FRAME TRIM TO MAXIMUM EXTENT POSSIBLE - NOTIFY OWNER PRIOR TO COMMENCING WORK IF HISTORIC OR NEW FRAME & TRIM WILL BE USED FOR ADDITIONAL INSTRUCTION.
12. NEW WOOD WINDOW IN EXISTING RESTORED WOOD FRAMES & TRIM PER NPS GUIDELINES, RE: A501 - REPAIR OR REPLACE IN-KIND, ITEMS NOT ABLE TO BE RESTORED TO MATCH EXISTING PROFILES, FIELD VERIFY.
13. 90 CUT FRT CEDAR SHINGLES OVER #30 ASPHALT SATURATE FELT UNDERLAYMENT OVER EXISTING/ NEW DECKING - REPLACE ALL DETERIORATED EXISTING DECKING IN-KIND, RE: STRUCT.
14. AREA OF FUTURE MASONRY CHIMNEY - BLOCK OUT PER STRUCTURAL FOR FUTURE ADDITION OF CHIMNEY IN PHASE II, SEAL TOP OF EXISTING FLUE, RE: STRUCT.
15. NEW AREA DRAIN - TIGHTLINE TO STORM SEWER.
16. FLUID APPLIED WATERPROOFING WITH 1/2" COVER BOARD FROM GRADE TO BOTTOM OF FOUNDATIONS - BACKFILL WITH GRAVEL INSIDE FILTER FABRIC TO 1" BELOW GRADE BACK FILL REMAINING WITH TOPSOIL TO GRADE - PROVIDING POSITIVE DRAINAGE AWAY FROM BUILDING ON ALL SIDES - GRAVEL WILL CONTAIN PERIMETER DRAINAGE TIGHTLINE TO STORM.
17. NEW WOOD ENTRY DOOR, FRAME, TRANSOM SASH IN RESTORED WOOD SURROUND - REPAIR OR PLACE IN-KIND ALL DETERIORATED EXISTING ELEMENTS.
18. NEW PRE-FINISHED METAL GUTTER & DOWNSPOUTS - TIGHTLINE TO STORM SEWER - CUSTOM COLOR - COLOR TBD.
19. NEW WOOD OPERABLE SHUTTERS - PROVIDE & INSTALL HISTORIC REPLICA HARDWARE - COORDINATE WITH OWNER/ ARCHITECT PRIOR TO ORDERING - FINISH TO MATCH ALL EXTERIOR HARDWARE, RE: A502.
20. RESTORED WOOD BRACKET, USE IN-KIND MATERIALS, DIMENSIONS, AND CONSTRUCTION TO MATCH EXISTING HISTORIC BRACKETS.
21. NEW CONCRETE STAIR.
22. NEW METAL GUARDRAILS - FRAME & PAINT - COLOR TO MATCH ALL OTHER EXTERIOR HARDWARE - COORDINATE WITH THE OWNER/ ARCHITECT PRIOR TO PAINTING.
23. NEW METAL 90° SWING GATE, POWDERCOAT - COLOR TBD.
24. NEW SOFFIT VENTS SPACED EQUALLY ON EACH SIDE OF THE ROOF - PAINT TO MATCH SOFFIT - COLOR TBD.
25. NEW CEDAR RIDGE CAP OVER CONTINUOUS LOW PROFILE RIDGE/HIP VENT.
26. EXISTING BEAD BOARD SOFFIT OVER 3/8" SHEATHING - REPAIR OR REPLACE DETERIORATED BEAD BOARD - FRAME & PAINT, COLOR TBD.
27. EXISTING 1x WOOD FASCIA OVER NEW SUBFASCIA - REPAIR OR REPLACE DETERIORATED FASCIA - FRAME & PAINT, COLOR TBD.
28. AUTOMATIC DOOR OPENER/ PUSH PAD.
29. NEW WOOD CLAPBOARD SIDING - FRAME & PAINT - COLOR TBD.
30. NEW WOOD TRIM - FRAME & PAINT - COLOR TBD.
31. NEW WOOD BRACKET, CORNICE & DENTILS TO MATCH HISTORIC PROFILES - SIZE & EXACT SHAPE MAY VARY TO MEET SPECIFIC CONDITIONS OF NEW CUPOLA.

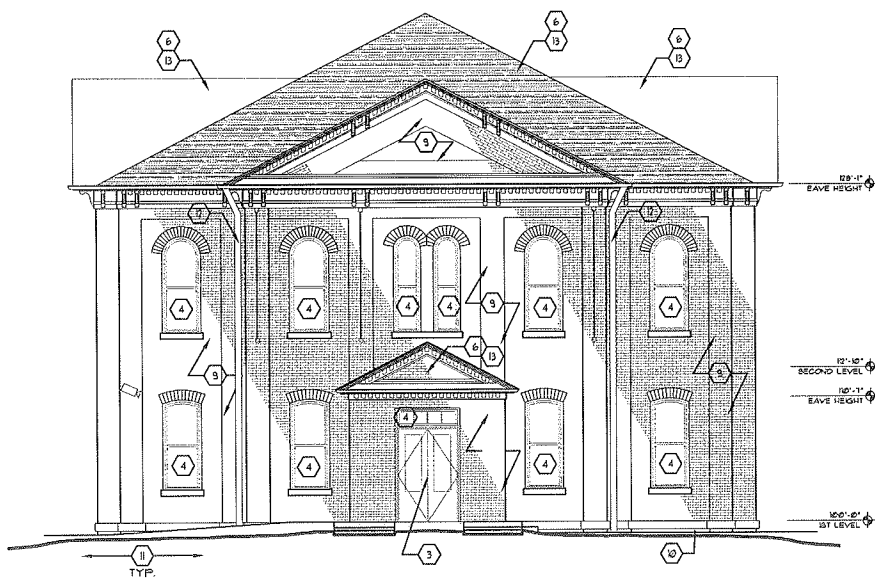


ROOF PLAN
SCALE: 1/4" = 1'-0"
NORTH

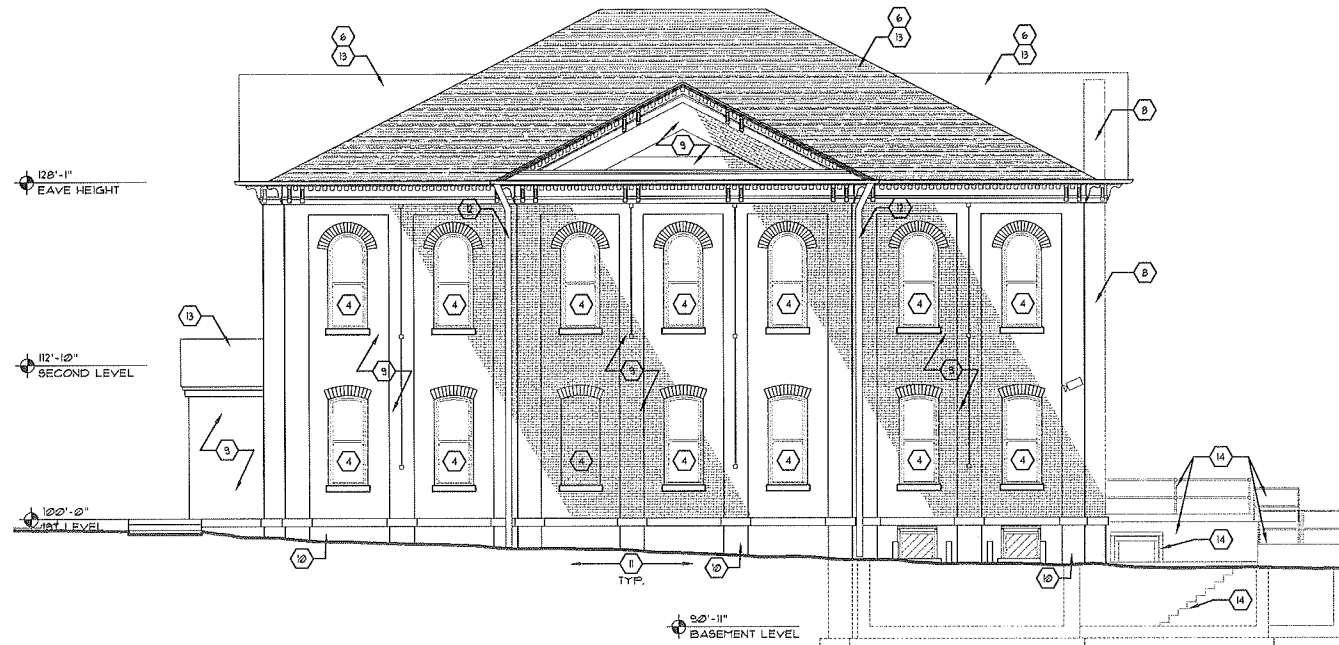
DRAWN BY:	KRF
CHECKED BY:	MOB
ISSUED:	10/15/12
REVISIONS	

SHEET TITLE:
Roof Plan

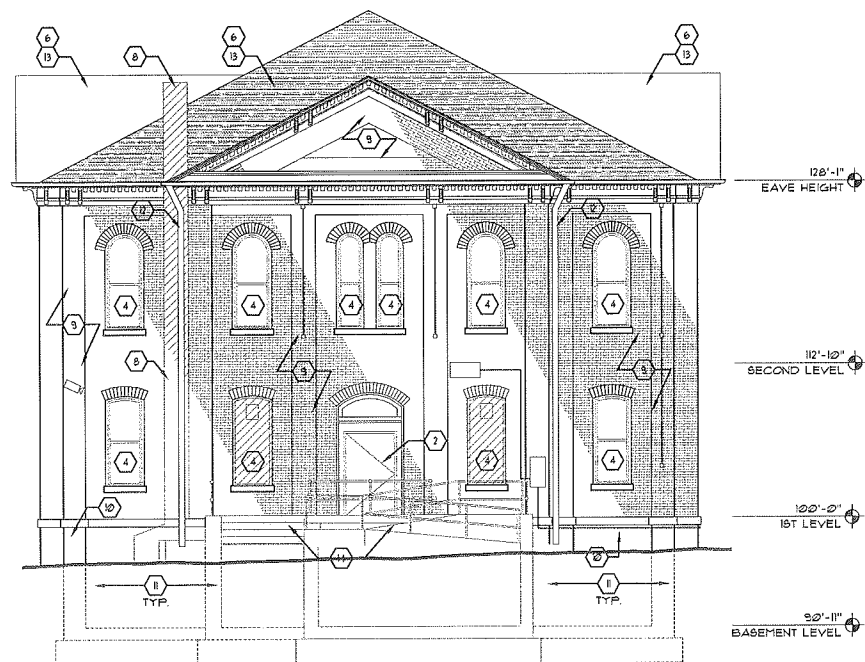
A111



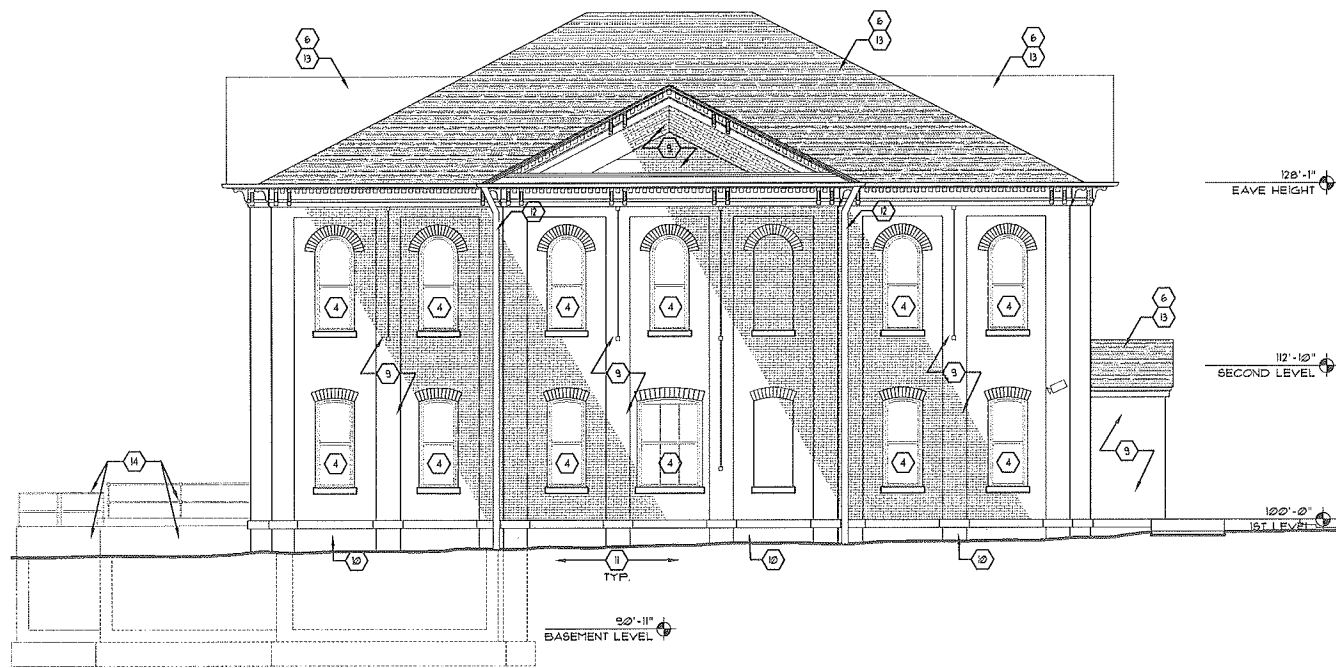
1 WEST ELEVATION
A211 SCALE: 1/8"=1'-0"



1 SOUTH ELEVATION
A211 SCALE: 1/8"=1'-0"



3 EAST ELEVATION
A211 SCALE: 1/8"=1'-0"



2 NORTH ELEVATION
A211 SCALE: 1/8"=1'-0"

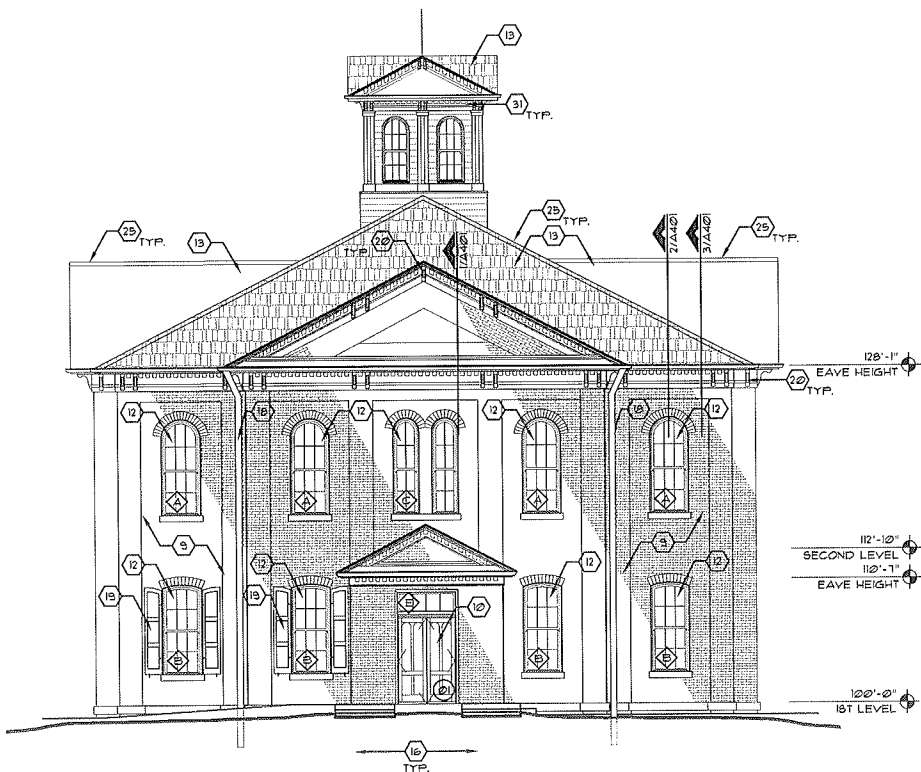
DEMOLITION LEGEND

- EXISTING WALLS, DOORS, ETC. TO REMAIN. REMOVE MISC. FINISHES WHICH CONFLICT WITH NEW CONSTRUCTION
- EXISTING WALLS, DOORS, ETC. TO BE REMOVED FROM FINISH FLOOR TO ROOF. CONTRACTOR SHALL INCLUDE IN SCOPE OF WORK MISC. DEMOLITION OF ITEMS NOT SHOWN ON THESE DRAWINGS TO PROVIDE THE INTENT OF THE DESIGN. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL ITEMS NOT SHOWN WHICH CONFLICT WITH DEMOLITION FOR ADDITIONAL INSTRUCTIONS. ALL DOORS, FRAMES, MILLWORK, ETC TO BE SALVAGED & STOCKPILED.

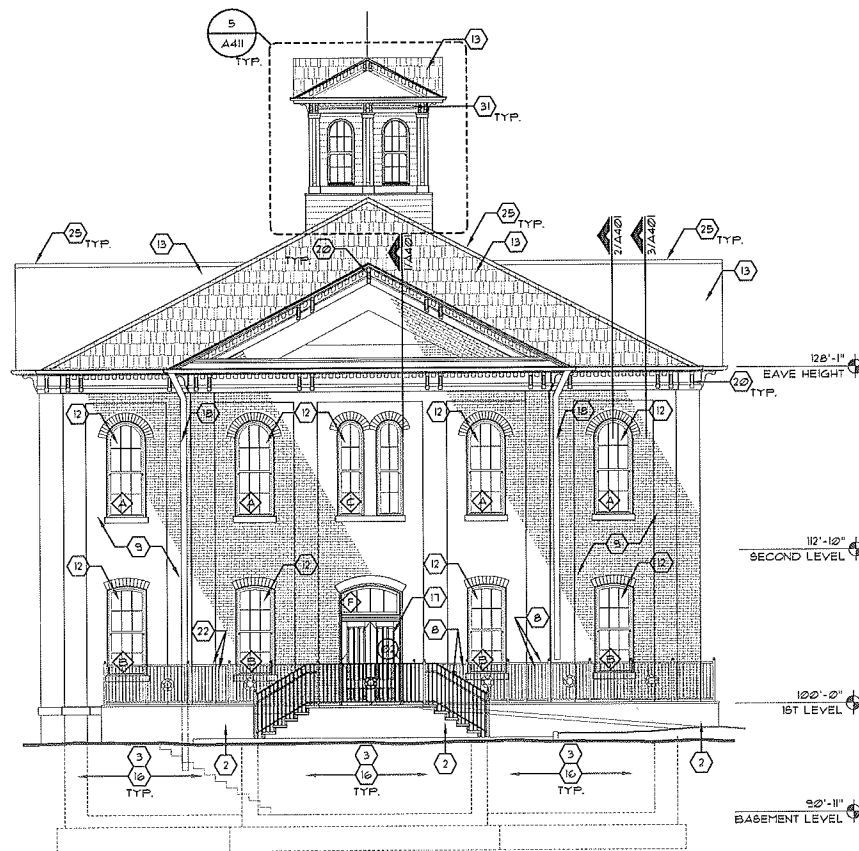
DEMO KEYNOTE LEGEND

1. COORDINATE LOCATION WITH OWNER/ARCHITECT FOR TEST AREAS TO REMOVE PAINT FROM BRICK. TEST POSSIBLE METHODS TO REMOVE PAINT, SAND-BLASTING IS NOT AN ACCEPTABLE SOLUTION TO REMOVING PAINT. CONTRACTOR IS TO PROVIDE A TEN TEST AREAS TO BE APPROVED BY THE OWNER/ARCHITECT. REFER TO NFPA TECHNICAL BRIEFS FOR ADDITIONAL MASONRY RESTORATION AND TUCK POINTING REQUIREMENTS.
2. EXISTING DOOR TO BE REMOVED & EXISTING FRAME TO REMAIN.
3. REMOVE EXISTING DOOR & FRAME. PREPARE OPENING FOR NEW DOOR & FRAME.
4. REMOVE EXISTING WINDOW SASH & DETERIORATED PORTIONS OF FRAME, ETC. THAT CANNOT BE RESTORED, RE. NPS PRESERVATION BRIEFS.
5. REMOVE CONCRETE SLAB.
6. REMOVE EXISTING SHINGLES - REMOVE DETERIORATED PORTIONS OF FRAME, ETC. EXISTING DECK FOR RE-USE IN NEW CONSTRUCTION - PROTECT STRUCTURE FOR NEW CONSTRUCTION - RE. STRUCTURAL FOR SUPPORTS, ROOF RAFTERS & SUBSTRATE.
7. REMOVE EXISTING STEPS - PREPARE AREA FOR INFILL.
8. REMOVE ABANDONED MASONRY CHASE FROM GROUND TO TOP - SHORE ALL ADJACENT SURFACES/MEMBERS - STORE MASONRY FOR RE-USE IF IT MATCHES THE HISTORIC.
9. REMOVE ALL LOOSE MASONRY & MORTAR - PREP FOR REINSTALL W/ IN-KIND MASONRY & MORTAR, RE. SPEC SECTIONS 04860, 04920, 04930, NPS PRESERVATION BRIEF 24 NEW CONST.
10. CAREFULLY REMOVE CEMENTITIOUS STUCCO MATERIAL FROM STONE SURFACE OF ANY ADDITIONAL STUCCO IN THE CRACKS AND CREVASSES, THEN REPAIR THE DETERIORATED STONES AS NECESSARY. LASTLY, REMOVE DETERIORATED MORTAR AND RE-TUCK POINT THESE AREAS.
11. EXCAVATE SOIL AT EXTERIOR WALL TO BOTTOM OF FOUNDATIONS. PREPARE WALL SURFACE TO APPLY WATERPROOFING MEMBRANE WITH PROTECTION COURSE.
12. REMOVE EXISTING METAL GUTTER AND DOWNSPOUTS - FRAME & PAINT, COLOR TO BE DETERMINED.
13. PREPARE AREA FOR NEW ROOF CONSTRUCTION. RE. STRUCTURAL FOR SUPPORTS, ROOF RAFTERS & SUBSTRATE.
14. DEMO EXISTING CONCRETE LANDING, RAMP, STEPS, GUARDRAILS AND HANDRAILS. SALVAGE GUARDRAILS AND HANDRAILS FOR OWNER.
15. EXISTING STAIRS TO REMAIN - PROTECT DURING CONSTRUCTION.
16. REMOVE EXISTING BASEMENT WALLS, FLOORS, DOORS, WINDOWS, FOUNDATIONS, ELECTRICAL, PLUMBING MECHANICAL, ETC. TO PREPARE FOR NEW CONSTRUCTION. RE. NEW CONSTRUCTION - PROVIDE FOR SHORING OF EXISTING TO REMAIN - REPORT TO OWNER UNDERGROUND CONDITIONS.

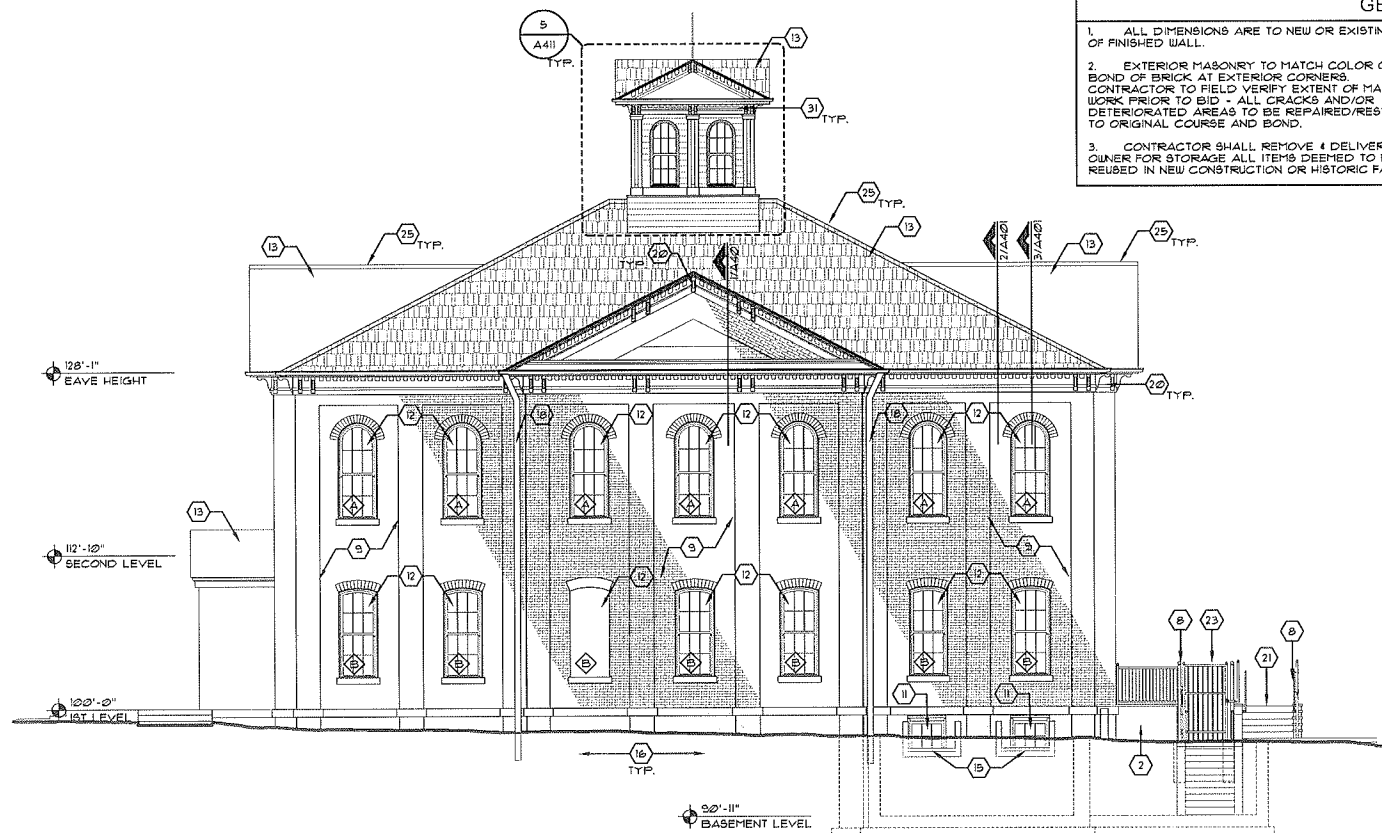
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REVISIONS



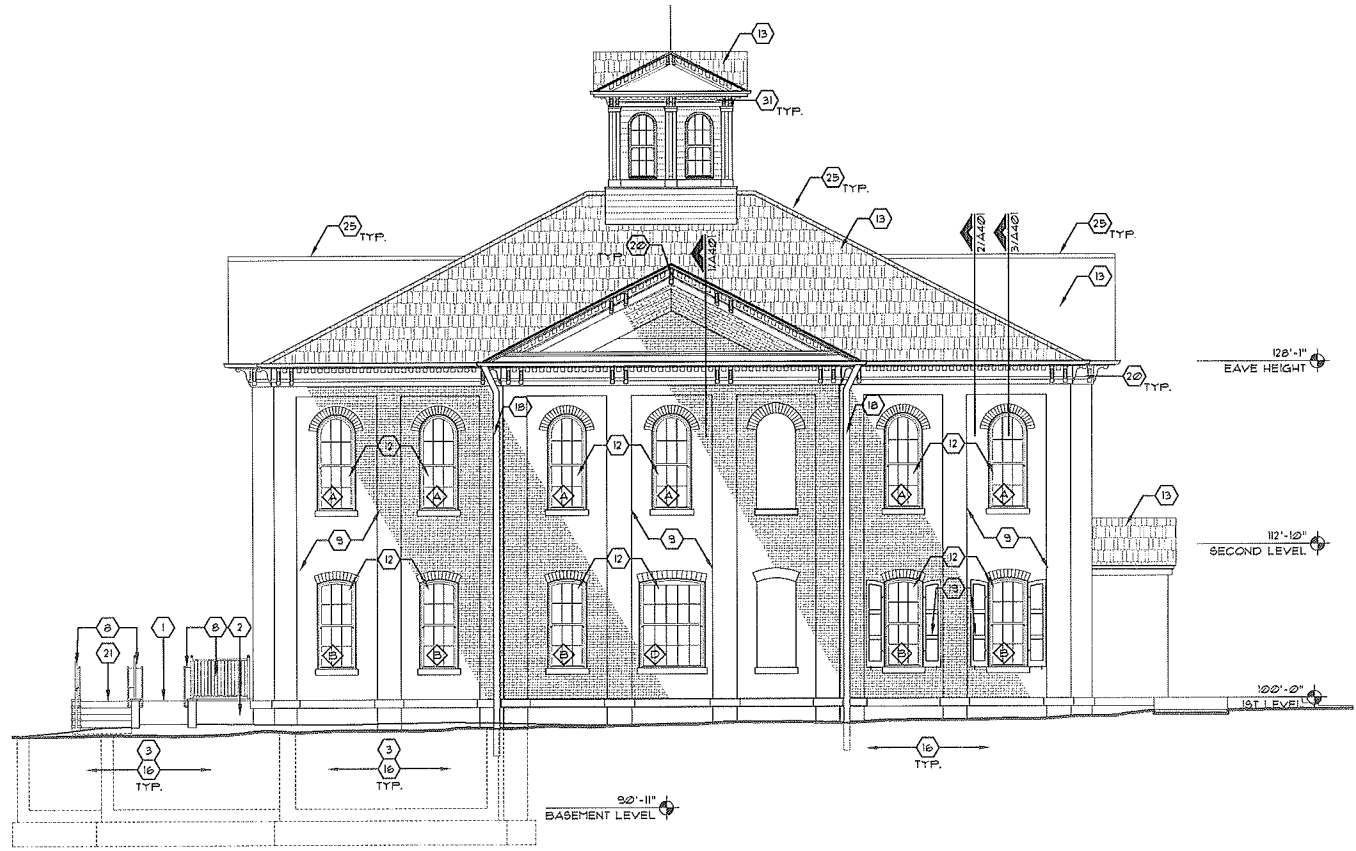
1 WEST ELEVATION
A212 SCALE: 1/8"=1'-0"



3 EAST ELEVATION
A212 SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
A212 SCALE: 1/8"=1'-0"



4 NORTH ELEVATION
A212 SCALE: 1/8"=1'-0"

GENERAL NOTES

- ALL DIMENSIONS ARE TO NEW OR EXISTING FACE OF FINISHED WALL.
- EXTERIOR MASONRY TO MATCH COLOR COURSE & BOND OF BRICK AT EXTERIOR CORNERS. CONTRACTOR TO FIELD VERIFY EXTENT OF MASONRY WORK PRIOR TO BID - ALL CRACKS AND/OR DETERIORATED AREAS TO BE REPAIRED/RESTORED TO ORIGINAL COURSE AND BOND.
- CONTRACTOR SHALL REMOVE & DELIVER TO OWNER FOR STORAGE ALL ITEMS DEEMED TO BE REUSED IN NEW CONSTRUCTION OR HISTORIC FABRIC.
- CONTRACTOR TO FIELD VERIFY EXTENT OF SIDEWALK THAT WILL NEED TO BE REPLACED DO TO SITE WORK & FOUNDATION WATERPROOFING. PROVIDE TO THE OWNER AS SEPARATE NUMBER WITHIN THE BASE BID WITH QUANTITY & SCOPE.
- CONTRACTOR TO PROVIDE AS A LINE ITEM IN THE BASE BID A DESIGN BUILD LIGHTING PROTECTION SYSTEM IN ACCORDANCE WITH UL 36A, NFPA 100, & LPI 115 - ELEMENTS TO BE CONCEALED WITH THE EXCEPTION OF STRIKE TERMINATION DEVICES (LIGHTING RODS) PROVIDE SPECIFICATION TO OWNER OF SYSTEM WITH BID PACKET FOR REVIEW.

KEYNOTE LEGEND

- NEW ACCESSIBLE CONCRETE RAMP - NOT TO EXCEED 1:12 SLOPE.
- NEW CONC RETAINING WALL W/ STONE VENEER & TOP CAP TO MATCH EXISTING STONE BASE ON BUILDING. RE: STRUCTURAL.
- NEW CONC BASEMENT WALL W/ STONE VENEER & TOP CAP TO MATCH EXISTING STONE BASE ON BUILDING. RE: STRUCTURAL.
- NEW CONCRETE SLAB - MATCH EXISTING BASEMENT ELEVATION - FINAL EXTENT OF WORK TO BE FIELD VERIFIED PRIOR TO COMMENCING WORK. RE: STRUCTURAL.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING TREADS AND RISERS - PROTECT DURING CONST.
- NEW CONCRETE SIDEWALK, RE: CIVIL.
- NEW METAL GUARDRAILS/ HANDRAILS EACH SIDE - PRIME & PAINT, RE: X-A412.
- REMOVE ALL LOOSE MASONRY & MORTAR AT WINDOW, DOOR OPENINGS INCLUDING HEAD, JAMB & SILL & LOCATIONS OF SETTLEMENT CRACKING - REINSTALL W/ IN-KIND MASONRY & MORTAR TO MATCH. RE: SPEC SECTIONS 04800, 04800, 04800, 04910 & NPS PRESERVATION BRIEF 2.
- NEW WOOD FRONT ENTRY & TRANSOM WITH RESTORED SURROUND - REPLACE ALL ITEMS NOT ABLE TO BE USE IN-KIND TO MATCH EXISTING PROFILES, FIELD VERIFY - REPLACE MISSING ELEMENTS TO COMPLETE MILLWORK.
- NEW WOOD WINDOW, SASH, FRAME, & INTERIOR SILL/ TRIM - FIELD VERIFY OPENING CONDITION. REPAIR EXISTING FRAME/ TRIM TO MAXIMUM EXTENT POSSIBLE - NOTIFY OWNER PRIOR TO COMMENCING WORK IF HISTORIC OR NEW FRAME & TRIM WILL BE USED FOR ADDITIONAL INSTRUCTION.
- NEW WOOD WINDOW IN EXISTING RESTORED WOOD FRAMES & TRIM PER NPS GUIDELINES, RE: A501 - REPAIR OR REPLACE IN-KIND ALL ITEMS NOT ABLE TO BE RESTORED TO MATCH EXISTING PROFILES, FIELD VERIFY.
- 50 CUT FRT CEDAR SHINGLES OVER 130 ASPHALT SATURATE FELT UNDERLAYMENT OVER EXISTING/ NEW DECKING - REPLACE ALL DETERIORATED EXISTING DECKING IN-KIND, RE: STRUCT.
- AREA OF FUTURE MASONRY CHIMNEY - BLOCK OUT PER STRUCTURAL FOR FUTURE ADDITION OF CHIMNEY IN PHASE II, SEAL TOP OF EXISTING FLUE. RE: STRUCT.
- NEW AREA DRAIN - TIGHTLINE TO STORM SEWER.
- FLUID APPLIED WATERPROOFING WITH 1/2" COVER BOARD FROM GRADE TO BOTTOM OF FOUNDATIONS - BACKFILL WITH GRAVEL INSIDE FILTER FABRIC TO 1" BELOW GRADE BACK FILL REMAINING WITH TOPSOIL TO GRADE - PROVIDING POSITIVE DRAINAGE AWAY FROM BUILDING ON ALL SIDES - GRAVEL WILL CONTAIN PERIMETER DRAINAGE TIGHTLINED TO STORM.
- NEW WOOD ENTRY DOOR, FRAME, TRANSOM SASH IN RESTORED WOOD SURROUND - REPAIR OR PLACE IN-KIND ALL DETERIORATED EXISTING ELEMENTS.
- NEW PRE-FINISHED METAL GUTTER & DOWNSPOUTS - TIGHTLINE TO STORM SEWER - CUSTOM COLOR - COLOR TBD.
- NEW WOOD OPERABLE SHUTTERS - PROVIDE & INSTALL HISTORIC REPLICA HARDWARE - COORDINATE WITH OWNER/ ARCHITECT PRIOR TO ORDERING - FINISH TO MATCH ALL EXTERIOR HARDWARE, RE: A502.
- RESTORED WOOD BRACKET, USE IN-KIND MATERIALS, DIMENSIONS, AND CONSTRUCTION TO MATCH EXISTING HISTORIC BRACKETS.
- NEW CONCRETE STAIR.
- NEW METAL GUARDRAILS - PRIME & PAINT - COLOR TO MATCH ALL OTHER EXTERIOR HARDWARE - COORDINATE WITH THE OWNER/ ARCHITECT PRIOR TO PAINTING.
- NEW METAL 30" SWING GATE, POWDERCOAT - COLOR TBD.
- NEW SOFFIT VENTS SPACED EQUALLY ON EACH SIDE OF THE ROOF. PAINT TO MATCH SOFFIT - COLOR TBD.
- NEW CEDAR RIDGE CAP OVER CONTINUOUS LOW PROFILE RIDGE/HIP VENT.
- EXISTING BEAD BOARD SOFFIT OVER 3/8" SHEATHING - REPAIR OR REPLACE DETERIORATED BEAD BOARD - PRIME & PAINT, COLOR TBD.
- EXISTING 1X WOOD FASCIA OVER NEW SUBFASCIA - REPAIR OR REPLACE DETERIORATED FASCIA - PRIME & PAINT, COLOR TBD.
- AUTOMATIC DOOR OPENER/ PUSH PAD.
- NEW WOOD CLAPBOARD SIDING - PRIME & PAINT - COLOR TBD.
- NEW WOOD TRIM - PRIME & PAINT - COLOR TBD.
- NEW WOOD BRACKET, CORNICE & DENTILS TO MATCH HISTORIC PROFILES - SIZE & EXACT SHAPE MAY VARY TO MEET SPECIFIC CONDITIONS OF NEW CUPOLA.

DRAWN BY:	KFG
CHECKED BY:	MOS
ISSUED:	10/15/12
REVISIONS	

NEW 5/8" CUT WOOD SHINGLES OVER 3/4" SATURATED FELT OVER EXISTING 3/4" WOOD FLANK DECKING - REPAIR, REPLACE DETERIORATED EXISTING DECKING W/ IN-KIND WOOD DECKING.

NEW 2X WOOD SUB-FASCIA - CUT BACK EXISTING RAFTER TAILS AS NEEDED TO MAINTAIN EXISTING SOFFIT PROFILE.
 REPAIR OR REPLACE EXISTING GUTTER - PRIME & PAINT - COLOR TBD.
 METAL FLASHING.
 1X2 WOOD TRIM - PRIME & PAINT - COLOR TBD.
 EXISTING 1X6 WOOD FASCIA - REPAIR, REPLACE DETERIORATED FASCIA - PRIME & PAINT - COLOR TBD.
 EXISTING WOOD BEAD BOARD SOFFIT OVER 3/8" PLYWOOD SUBSTRATE - REPAIR OR REPLACE DETERIORATED SOFFIT - PRIME & PAINT - COLOR TBD.
 BUILT-UP WOOD BRACKET - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD.
 2X WOOD NAILER, RE: STRUCT.
 WOOD CORNICE - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD.

EXISTING STEEL CEILING JOIST, RE: STRUCT.

EXISTING PLASTER WALLS & CEILING

EXISTING WOOD BASE

EXISTING STEEL C CHANNEL

EXISTING STEEL OUTRIGGER

EXISTING STEEL BAR JOIST, RE: STRUCT.

EXISTING PLASTER WALLS & CEILING

EXISTING WOOD BASE

EXISTING FLOOR FINISHES VARY

EXISTING BRICK WALL.

EXISTING CONCRETE DECK, RE: STRUCT. FOR REPAIR

EXISTING STEEL BAR JOIST, RE: STRUCT. FOR REPAIR

CLEAN & REPAIR FROM TOP TO BOTTOM OF FOUNDATION PER NPS PRESERVATION BRIEF #1.

LINE OF GRADE - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING & PERIMETER.

COMPACTED SELECT FILL

LOOSELY PACKED GRAVEL

4" PERFORATED DRAIN

1/2" PROTECTION COURSE OVER FLUID APPLIED MEMBRANE WATERPROOFING FROM GRADE TO BOTTOM OF FOUNDATION.

CRAWLSPACE

GRANULAR FILL.

VAPOR BARRIER.

EXISTING CONC FOOTING.

UNDISTURBED SOIL.

1 WALL SECTION
 A401 SCALE: 1/2"=1'-0"

NEW 5/8" CUT WOOD SHINGLES OVER 3/4" SATURATED FELT OVER EXISTING 3/4" WOOD FLANK DECKING - REPAIR, REPLACE DETERIORATED EXISTING DECKING W/ IN-KIND WOOD DECKING.

NEW 2X WOOD SUB-FASCIA - CUT BACK EXISTING RAFTER TAILS AS NEEDED TO MAINTAIN EXISTING SOFFIT PROFILE.
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 METAL FLASHING.
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 BUILT-UP WOOD BRACKET - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD.
 2X WOOD NAILER, RE: STRUCT.
 WOOD CORNICE - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD.

EXISTING STEEL CEILING JOIST, RE: STRUCT.

EXISTING PLASTER WALLS & CEILING

EXISTING WOOD BASE

EXISTING STEEL C CHANNEL

EXISTING STEEL OUTRIGGER

EXISTING STEEL BAR JOIST, RE: STRUCT.

EXISTING PLASTER WALLS & CEILING

EXISTING WOOD BASE

EXISTING FLOOR FINISHES VARY

EXISTING BRICK WALL.

EXISTING CONCRETE DECK, RE: STRUCT. FOR REPAIR

EXISTING STEEL BAR JOIST, RE: STRUCT. FOR REPAIR

CLEAN & REPAIR FROM TOP TO BOTTOM OF FOUNDATION PER NPS PRESERVATION BRIEF #1.

LINE OF GRADE - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING & PERIMETER.

COMPACTED SELECT FILL

LOOSELY PACKED GRAVEL

4" PERFORATED DRAIN

1/2" PROTECTION COURSE OVER FLUID APPLIED MEMBRANE WATERPROOFING FROM GRADE TO BOTTOM OF FOUNDATION.

CRAWLSPACE

GRANULAR FILL.

VAPOR BARRIER.

EXISTING CONC FOOTING.

UNDISTURBED SOIL.

2 WALL SECTION
 A401 SCALE: 1/2"=1'-0"

NEW SOFFIT VENT - PREFINISHED WIRE INSECT MESH - COLOR TBD
 NEW 2X WOOD SUB-FASCIA - CUT BACK EXISTING RAFTER TAILS AS NEEDED TO MAINTAIN EXISTING SOFFIT PROFILE.
 REPAIR OR REPLACE EXISTING GUTTER - PRIME & PAINT - COLOR TBD.
 METAL FLASHING.
 1X2 WOOD TRIM - PRIME & PAINT - COLOR TBD.
 EXISTING 1X6 WOOD FASCIA - REPAIR, REPLACE DETERIORATED FASCIA - PRIME & PAINT - COLOR TBD.
 EXISTING WOOD BEAD BOARD SOFFIT OVER 3/8" PLYWOOD SUBSTRATE - REPAIR OR REPLACE DETERIORATED SOFFIT - PRIME & PAINT - COLOR TBD.
 BUILT-UP WOOD BRACKET - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD.
 2X WOOD NAILER, RE: STRUCT.
 WOOD CORNICE - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD.

EXISTING STEEL STRUCTURE, RE: STRUCT.

EXISTING PLASTER WALLS & CEILING

EXISTING WOOD BASE

EXISTING STEEL OUTRIGGER

EXISTING CONCRETE DECK, RE: STRUCT. FOR REPAIR

EXISTING STEEL BAR JOIST, RE: STRUCT.

EXISTING BRICK WALL.

EXISTING BRICK PLASTER BEYOND

EXISTING BRICK ARCHED LINTEL - REPAIR & REPLACE ALL DAMAGED OR DETERIORATED MASONRY & MORTAR - ADDITIONAL STRUCTURAL REQUIREMENTS WILL NEED TO BE FIELD COORDINATED AFTER DEMOLITION

MODIFIED WOOD EXTERIOR CASINGS - REPAIR OR REPLACEMENT OF DETERIORATED ELEMENTS PER NPS PRESERVATION BRIEF #3 - THE REPAIR OF HISTORIC WOODEN WINDOWS. USE ABATRON WOOD EPOXY, RE: SPEC.

EXISTING STONE SILL

EXISTING BRICK WALL.

EXISTING BRICK ARCHED LINTEL - REPAIR & REPLACE ALL DAMAGED OR DETERIORATED MASONRY & MORTAR - ADDITIONAL STRUCTURAL REQUIREMENTS WILL NEED TO BE FIELD COORDINATED AFTER DEMOLITION

MODIFIED WOOD EXTERIOR CASINGS - REPAIR OR REPLACEMENT OF DETERIORATED ELEMENTS PER NPS PRESERVATION BRIEF #3 - THE REPAIR OF HISTORIC WOODEN WINDOWS.

NEW WOOD SASH & FRAME, RE WINDOW SCHEDULE.

EXISTING WOOD SILL - REPAIR OR REPLACE DETERIORATED SILLS PER NPS PRESERVATION BRIEF #3 - THE REPAIR OF HISTORIC WOODEN WINDOWS - USE ABATRON WOOD EPOXY, RE: SPEC.

EXISTING STONE SILL

EXISTING BRICK WALL.

EXISTING STONE BASE, CLEAN PER NPS PRESERVATION BRIEF #1.

CLEAN & REPAIR FROM TOP TO BOTTOM OF FOUNDATION PER NPS PRESERVATION BRIEF #5 - PRESERVATION OF HISTORIC CONCRETE.

LINE OF GRADE - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING & PERIMETER.

COMPACTED SELECT FILL

LOOSELY PACKED GRAVEL

4" PERFORATED DRAIN

1/2" PROTECTION COURSE OVER FLUID APPLIED MEMBRANE WATERPROOFING FROM GRADE TO BOTTOM OF FOUNDATION.

CRAWLSPACE

GRANULAR FILL.

VAPOR BARRIER.

EXISTING CONC FOOTING.

UNDISTURBED SOIL.

3 WALL SECTION
 A401 SCALE: 1/2"=1'-0"

NEW 5/8" CUT WOOD SHINGLES OVER 3/4" SATURATED FELT OVER EXISTING 3/4" WOOD FLANK DECKING - REPAIR, REPLACE DETERIORATED EXISTING DECKING W/ IN-KIND WOOD DECKING.
 METAL FLASHING, EXTEND 12" MIN. UP UNDER ROOFING SHINGLES
 1X2 WOOD TRIM - PRIME & PAINT - COLOR TBD.
 NEW PREFINISHED METAL GUTTER & ROUND METAL DOWNSPOUT - COLOR TBD, FIELD VERIFY DIMENSIONS MATCH EXISTING PROFILES.
 EXISTING 1X6 WOOD FASCIA - REPAIR, REPLACE DETERIORATED FASCIA - PRIME & PAINT - COLOR TBD.
 EXISTING WOOD BEAD BOARD SOFFIT OVER 3/8" PLYWOOD SUBSTRATE - REPAIR OR REPLACE DETERIORATED SOFFIT - PRIME & PAINT - COLOR TBD.

EXISTING ROOF STRUCTURE

NEW SOFFIT VENT - PAINT TO MATCH SOFFIT, COLOR TBD.

BUILT-UP WOOD BRACKET - REPAIR, REPLACE IN-KIND ALL DETERIORATED WOOD - PRIME & PAINT - COLOR TBD. MATCH HISTORIC PROFILES.

2X WOOD NAILER, RE: STRUCT.

WOOD CORNICE - REPAIR, REPLACE IN-KIND ALL DETERIORATED WOOD - PRIME & PAINT - COLOR TBD. MATCH HISTORIC PROFILES.

4 EAVE DETAIL
 A401 SCALE: 1"=1'-0"

NEW 5/8" CUT WOOD SHINGLES OVER 3/4" SATURATED FELT OVER EXISTING 3/4" WOOD FLANK DECKING - REPAIR, REPLACE DETERIORATED EXISTING DECKING W/ IN-KIND WOOD DECKING.
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EXISTING ROOF STRUCTURE

NEW SOFFIT VENT - PAINT TO MATCH SOFFIT, COLOR TBD.

BUILT-UP WOOD BRACKET - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD. FIELD VERIFY DIMENSIONS.

2X WOOD NAILER, RE: STRUCT.

WOOD CORNICE - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD. FIELD VERIFY DIMENSIONS.

5 GABLE @ PEDIMENT
 A401 SCALE: 1"=1'-0"

NEW 5/8" CUT WOOD SHINGLES OVER 3/4" SATURATED FELT OVER EXISTING 3/4" WOOD FLANK DECKING - REPAIR, REPLACE DETERIORATED EXISTING DECKING W/ IN-KIND WOOD DECKING.
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 REPAIR OR REPLACE DETERIORATED METAL GUTTER - PRIME & PAINT - COLOR TBD. FIELD VERIFY DIMENSIONS.
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 EXISTING WOOD BEAD BOARD SOFFIT OVER 3/8" PLYWOOD SUBSTRATE - REPAIR OR REPLACE DETERIORATED SOFFIT - PRIME & PAINT - COLOR TBD.
 BUILT-UP WOOD BRACKET - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD. FIELD VERIFY DIMENSIONS.
 EXTERIOR EGRESS LIGHT. REFER TO ELECTRICAL. VERIFY DEPTH OF SOFFIT.

EXISTING ROOF STRUCTURE

NEW SOFFIT VENT - PAINT TO MATCH SOFFIT, COLOR TBD.

BUILT-UP WOOD BRACKET - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD. FIELD VERIFY DIMENSIONS.

2X WOOD NAILER, RE: STRUCT.

WOOD CORNICE - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD. FIELD VERIFY DIMENSIONS.

6 SOFFIT DETAIL @ PEDIMENT
 A401 SCALE: 1"=1'-0"

NEW 5/8" CUT WOOD SHINGLES OVER 3/4" SATURATED FELT OVER EXISTING 3/4" WOOD FLANK DECKING - REPAIR, REPLACE DETERIORATED EXISTING DECKING W/ IN-KIND WOOD DECKING.
 METAL FLASHING, EXTEND 12" MIN. UP UNDER ROOFING SHINGLES
 1X2 WOOD TRIM - PRIME & PAINT - COLOR TBD.
 REPAIR OR REPLACE DETERIORATED METAL GUTTER - PRIME & PAINT - COLOR TBD. FIELD VERIFY DIMENSIONS.
 EXISTING 1X6 WOOD FASCIA - REPAIR, REPLACE DETERIORATED FASCIA - PRIME & PAINT - COLOR TBD.
 EXISTING WOOD BEAD BOARD SOFFIT OVER 3/8" PLYWOOD SUBSTRATE - REPAIR OR REPLACE DETERIORATED SOFFIT - PRIME & PAINT - COLOR TBD.
 BUILT-UP WOOD BRACKET - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD. FIELD VERIFY DIMENSIONS.
 EXTERIOR EGRESS LIGHT. REFER TO ELECTRICAL. VERIFY DEPTH OF SOFFIT.

EXISTING ROOF STRUCTURE

NEW SOFFIT VENT - PAINT TO MATCH SOFFIT, COLOR TBD.

BUILT-UP WOOD BRACKET - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD. FIELD VERIFY DIMENSIONS.

2X WOOD NAILER, RE: STRUCT.

WOOD CORNICE - REPAIR, REPLACE DETERIORATED WOOD - PRIME & PAINT - COLOR TBD. FIELD VERIFY DIMENSIONS.

EXISTING BRICK WALL

EXISTING STONE BASE, CLEAN PER NPS PRESERVATION BRIEF #1

CLEAN & REPAIR FROM TOP TO BOTTOM OF FOUNDATION PER NPS PRESERVATION BRIEF #5 - PRESERVATION OF HISTORIC CONCRETE

LINE OF GRADE - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING & PERIMETER

COMPACTED SELECT FILL

LOOSELY PACKED GRAVEL IN FILTER FABRIC FROM BOTTOM OF FOUNDATION TO 12" BELOW GRADE

4" PERFORATED DRAIN WRAPPED WITH LANDSCAPING PAPER

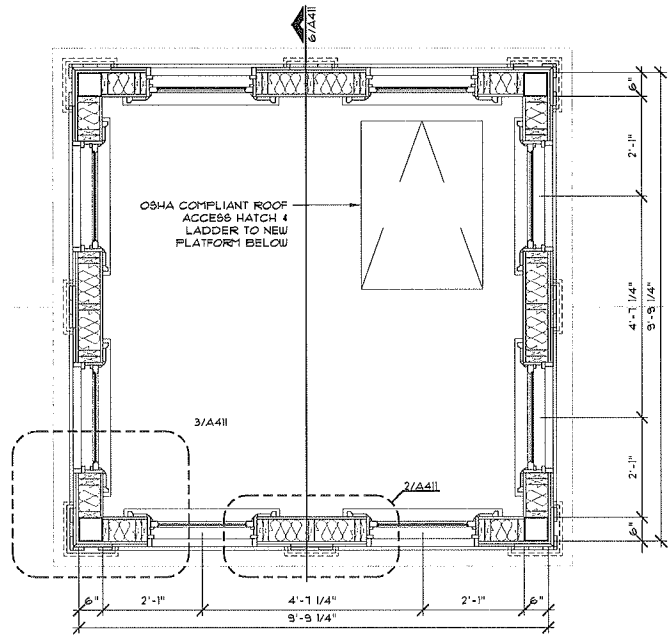
EXISTING CONCRETE FOOTING - REPAIR ALL CRACKS & DETERIORATED PORTIONS & PREP FOR FLUID APPLIED MEMBRANE, RE: STRUCTURAL

1/2" PROTECTION COURSE OVER FLUID APPLIED MEMBRANE WATERPROOFING FROM GRADE TO BOTTOM OF FOUNDATION.

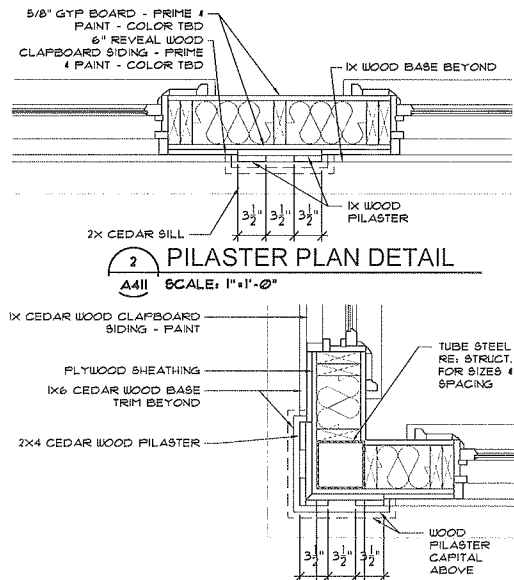
UNDISTURBED SOIL

1 WATERTABLE BASE DETAIL
 A401 SCALE: 1"=1'-0"

DRAWN BY:	KPG
CHECKED BY:	MOB
ISSUED:	10/15/12
REVISIONS	
ADD # 1	08/11/09
ADD # 2	08/11/09
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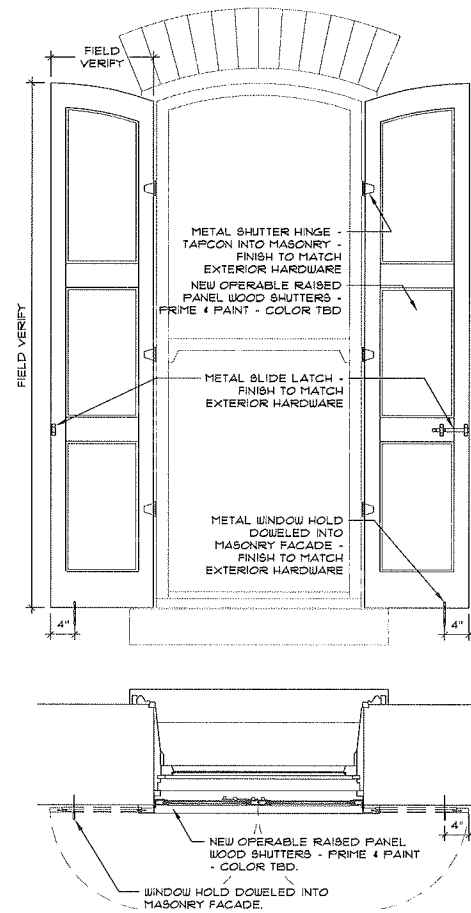


1 CUPOLA FLOOR PLAN
A411 SCALE: 1/2"=1'-0"

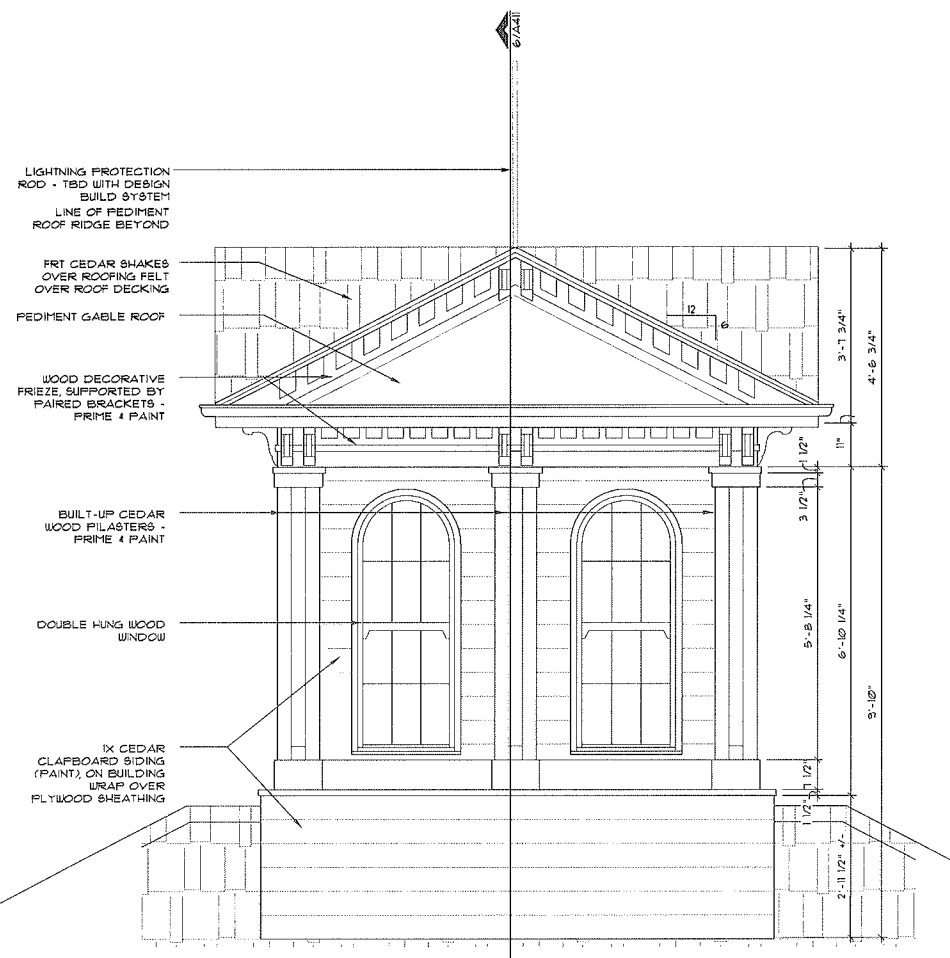


2 PILASTER PLAN DETAIL
A411 SCALE: 1"=1'-0"

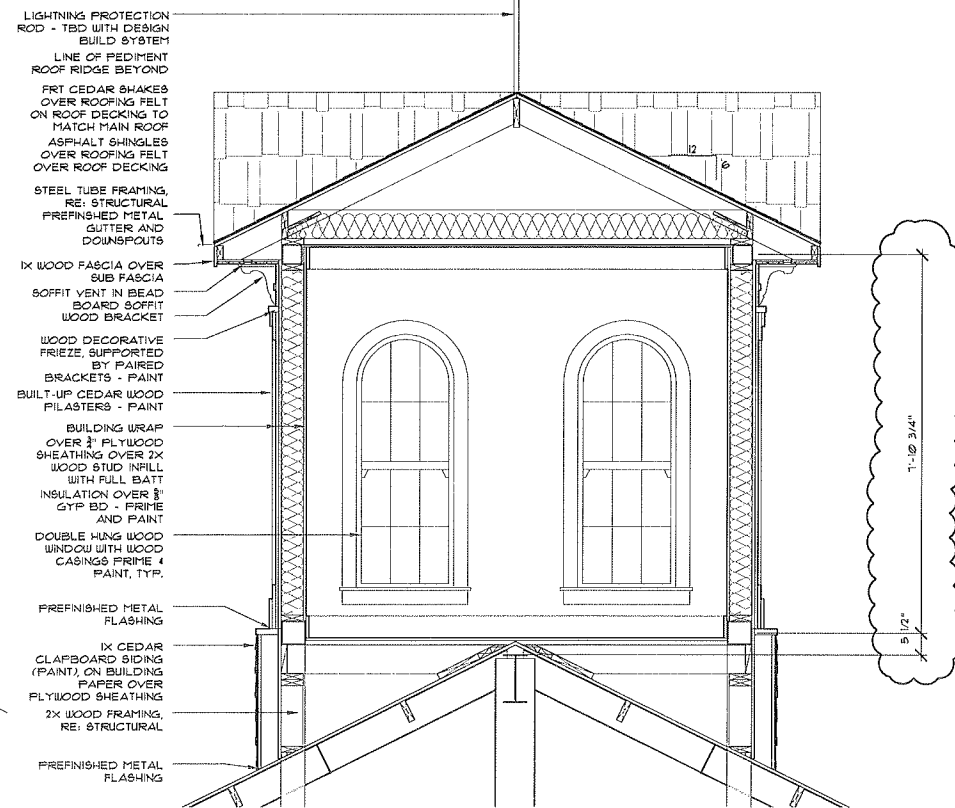
3 CORNER PLAN DETAIL
A411 SCALE: 1"=1'-0"



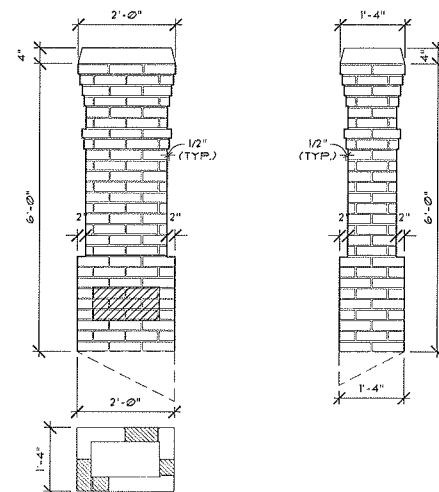
4 SHUTTER DETAILS
A411 SCALE: 3/4"=1'-0"



5 CUPOLA ELEVATION
A411 SCALE: 1/2"=1'-0" TYPICAL

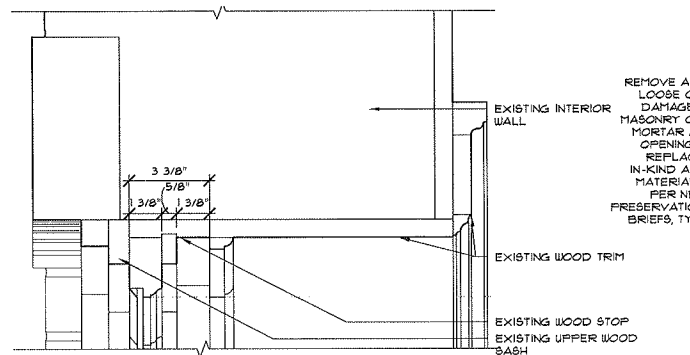


6 CUPOLA SECTION
A411 SCALE: 1/2"=1'-0"

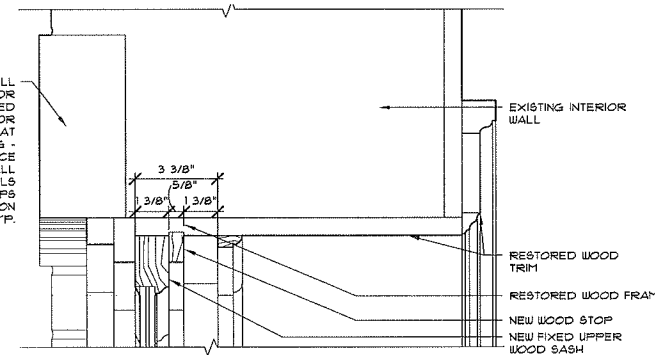


7 FUTURE CHIMNEY DETAILS
A411 SCALE: 1/2"=1'-0"

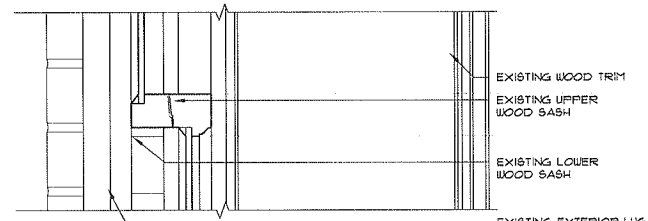
DRAWN BY:	KPG
CHECKED BY:	MOB
ISSUED:	10/15/12
REVISIONS	



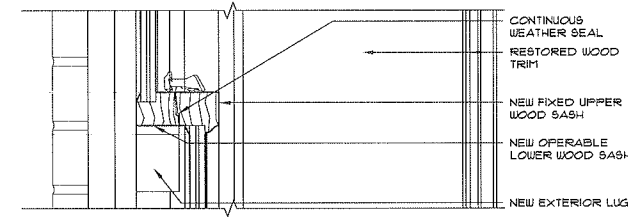
1 EXISTING WINDOW HEAD
A502 SCALE: 3"=1'-0"



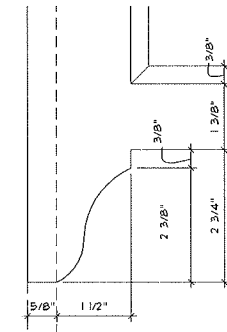
5 NEW WINDOW HEAD
A502 SCALE: 3"=1'-0"



2 EXISTING WINDOW MEETING RAIL
A502 SCALE: 3"=1'-0"



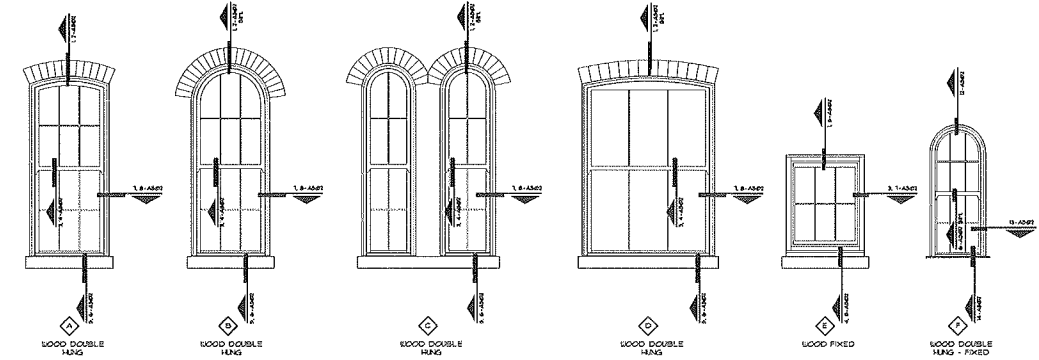
6 NEW WINDOW MEETING RAIL
A502 SCALE: 3"=1'-0"



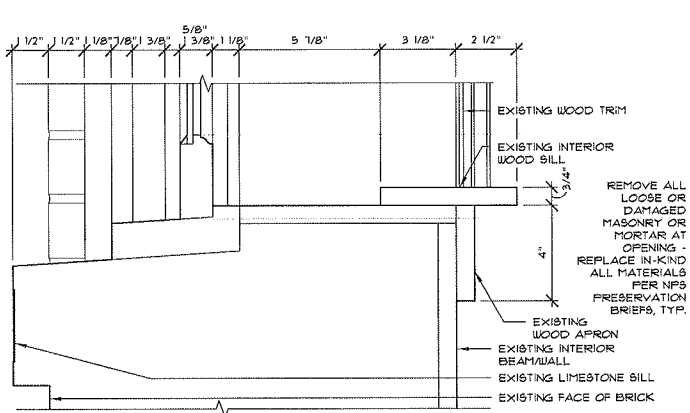
9 LUG DETAIL
A502 SCALE: HALF

WINDOW SCHEDULE						
WIND. TYPE	MAT'L.	CONFIGURATION	GLAZING TYPE	SCREEN	ROLLER UV-SHADES	REMARKS
A	WD	DOUBLE HUNG WOOD	CLEAR TEMPERED - INSULATED TRUE DIVIDED LITE	N/A	Y	
B	WD	DOUBLE HUNG WOOD	CLEAR TEMPERED - INSULATED TRUE DIVIDED LITE	N/A	Y	
C	WD	DOUBLE HUNG WOOD	CLEAR TEMPERED - INSULATED TRUE DIVIDED LITE	N/A	Y	
D	WD	DOUBLE HUNG WOOD	CLEAR TEMPERED - INSULATED TRUE DIVIDED LITE	N/A	Y	
E	WD	DOUBLE HUNG WOOD	CLEAR TEMPERED - INSULATED TRUE DIVIDED LITE	N/A	Y	
F	WD	DOUBLE HUNG WOOD	CLEAR TEMPERED - INSULATED TRUE DIVIDED LITE	N/A	Y	

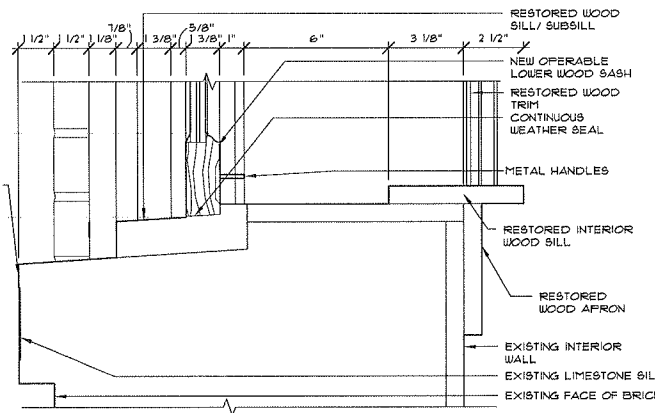
- WINDOW GENERAL NOTES:
- ALL EXISTING FRAMES, SILLS, CASINGS & TRIM TO BE REPAIRED PER NPS PRESERVATION BRIEF.
 - CONTRACTOR TO PROVIDE ALLOWANCE FOR IN-KIND REPLACEMENT OF HISTORIC HARDWARE - FINISH TBD.
 - CONTRACTOR TO PROVIDE FOR ALL NEW FLASHING & SEALANTS TO MAKE OPENINGS WEATHER TIGHT - FIELD COORDINATE WITH ARCHITECT WITH EXISTING CONDITIONS IN THE BASE BID.
 - COORDINATE WITH WINDOW SCHEDULE & EXISTING CONDITIONS.



10 WINDOW TYPES
A502 SCALE: 1/4"=1'-0"

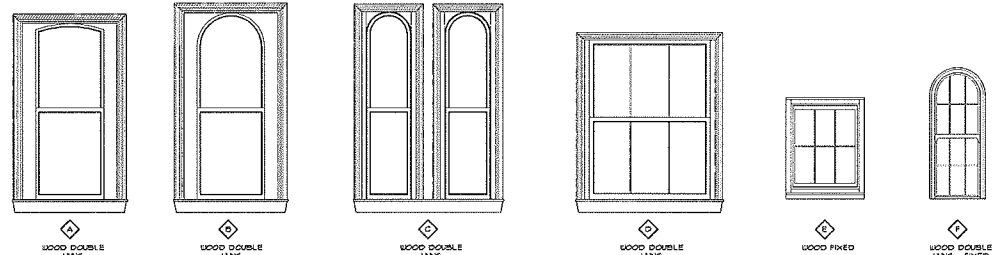


3 EXISTING WINDOW SILL
A502 SCALE: 3"=1'-0"

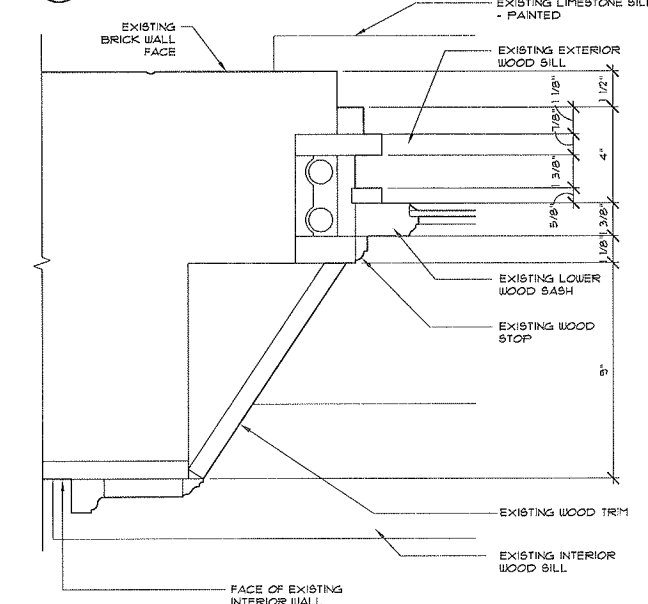


7 NEW WINDOW SILL
A502 SCALE: 3"=1'-0"

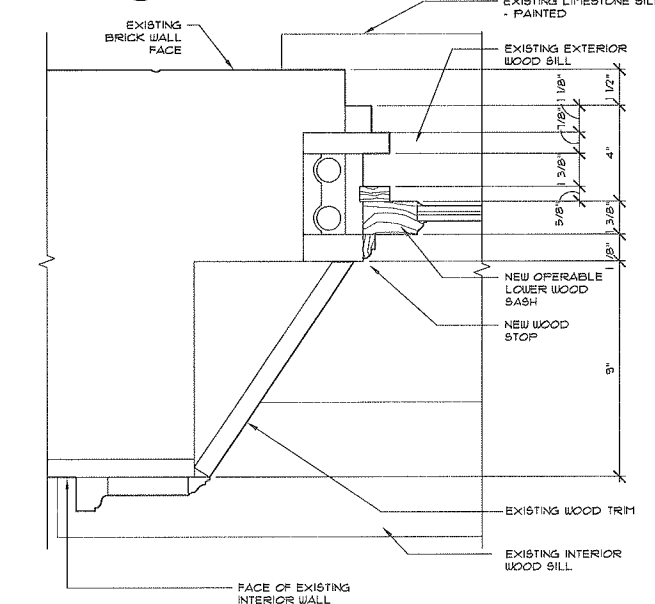
- GENERAL NOTES:
- CONTRACTOR TO DELIVER ALL WINDOW COMPONENTS TO OWNER PROVIDED STORAGE.
 - CONTRACTOR NOT TO DISCARD COMPONENTS WITHOUT PRIOR APPROVAL OF THE ARCHITECT.
 - ALL INTERIOR CASEWORK TO BE REPAIRED, INSTALLED & REFINISHED - STAIN GRADE - COLOR TBD.
 - CONTRACTOR TO PROVIDE NEW COILSAFE BALANCE SYSTEM BY FULLMAN - COORDINATE WITH THE ARCHITECT AND PROVIDE FOR IN THE BASE BID.



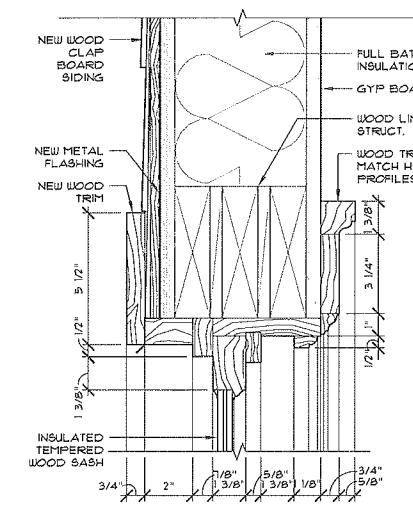
11 INTERIOR WINDOW ELEVATIONS
A502 SCALE: 1/4"=1'-0"



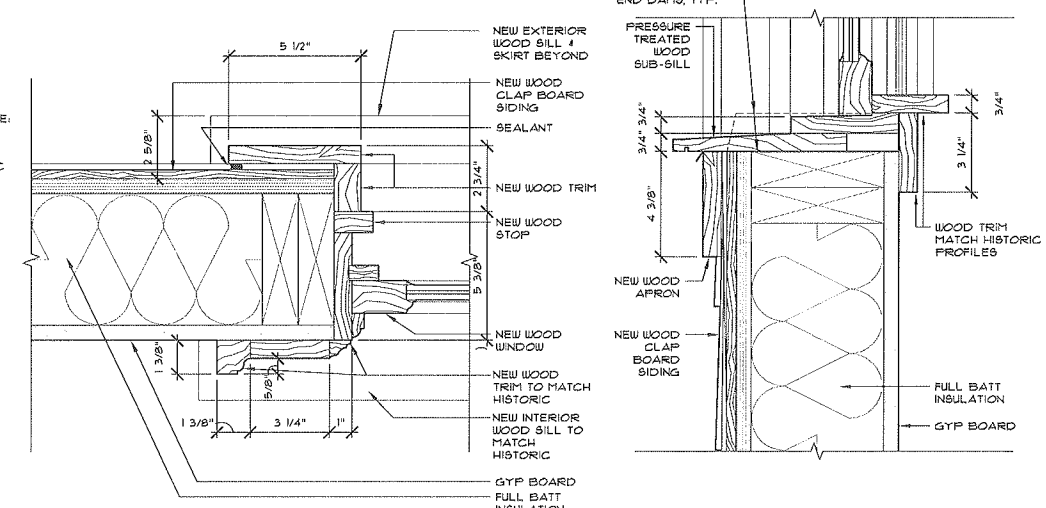
4 EXISTING WINDOW JAMB
A502 SCALE: 3"=1'-0"



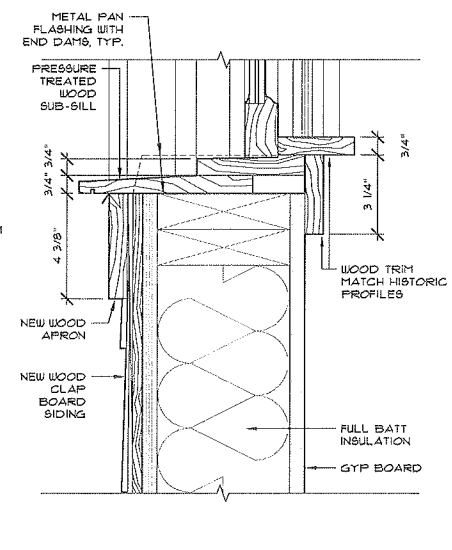
8 NEW WINDOW JAMB
A502 SCALE: 3"=1'-0"



12 NEW WINDOW HEAD
A502 SCALE: 3"=1'-0"



13 NEW WINDOW JAMB
A502 SCALE: 3"=1'-0"

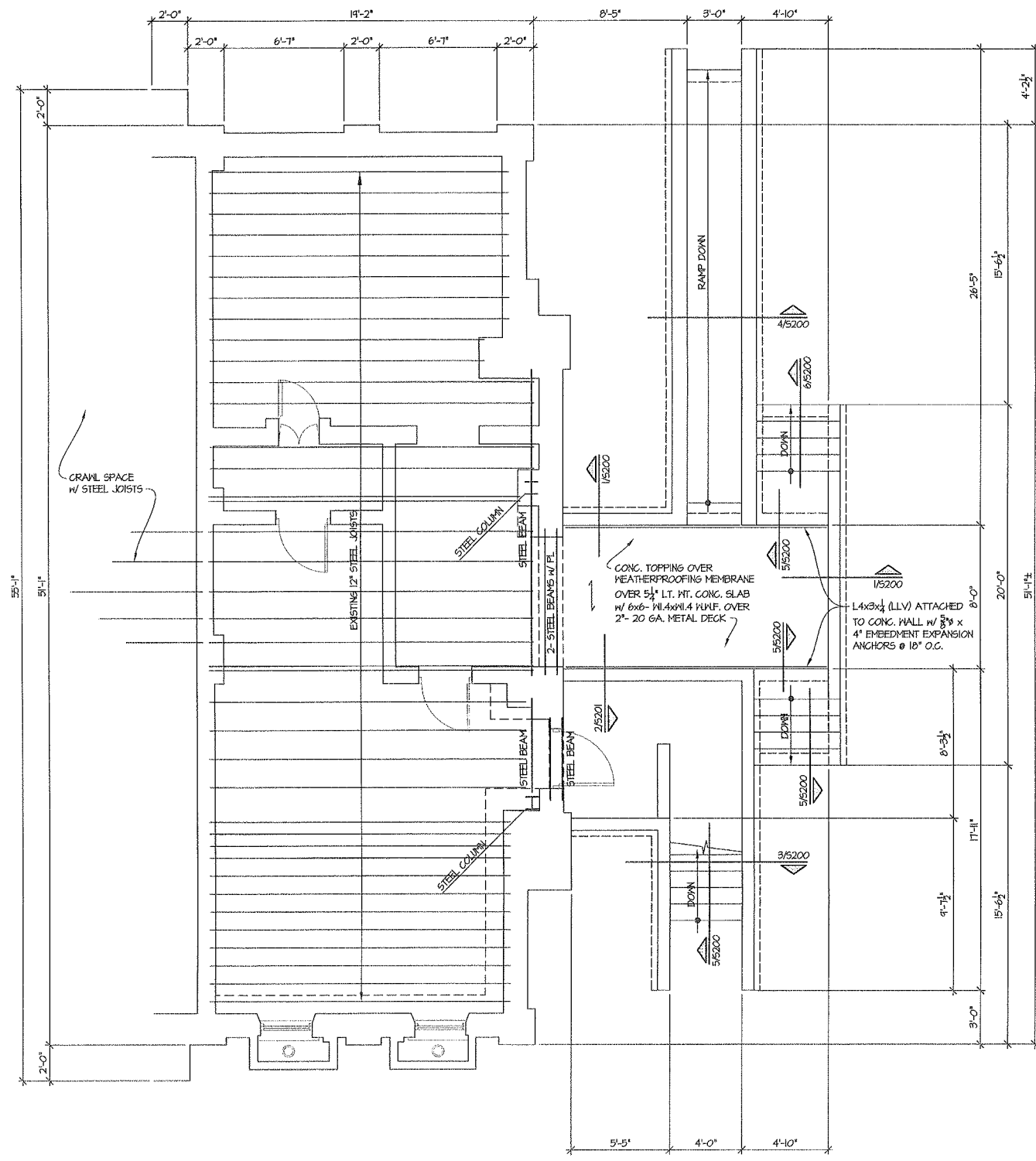


14 NEW WINDOW SILL
A502 SCALE: 3"=1'-0"

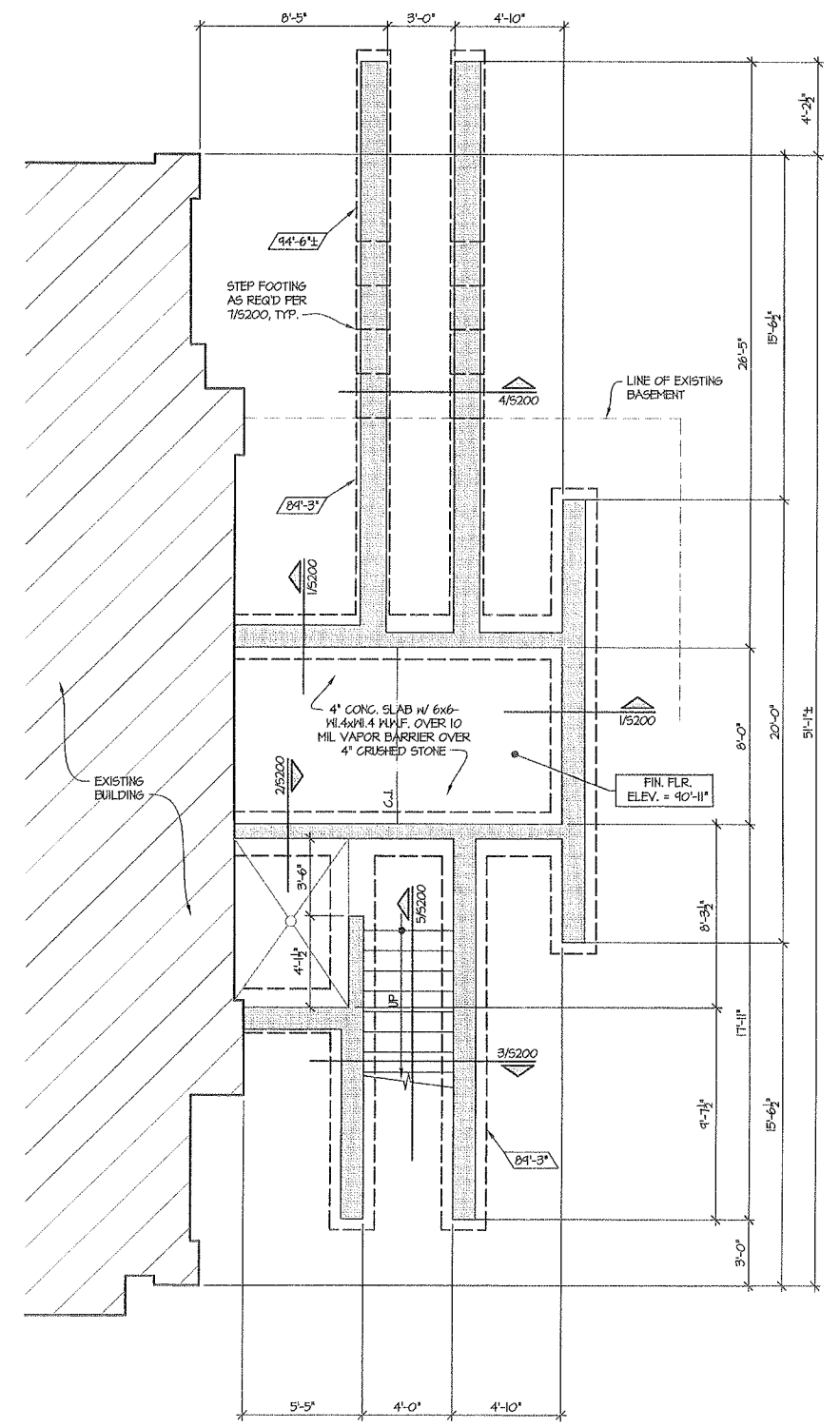
DRAWN BY:	KFG
CHECKED BY:	MOB
ISSUED:	10/15/12
REVISIONS:	

SHEET TITLE:
Window Types & Details

A502



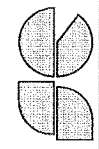
2 FIRST FLOOR FRAMING PLAN
 3/16" = 1'-0"



1 BASEMENT LEVEL FOUNDATION PLAN
 3/16" = 1'-0"

LEGEND
 84'-3" - INDICATES BOTTOM OF FOOTING ELEVATION

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 (918) 252-4557 FAX (918) 254-0838
 CA # 313 EXP. 6-30-13



SIKES ABERNATHIE ARCHITECTS
 406 S. BOULDER AVENUE, SUITE 700 TULSA, OK 74103
 918.598.0541 FAX: 918.599.0983

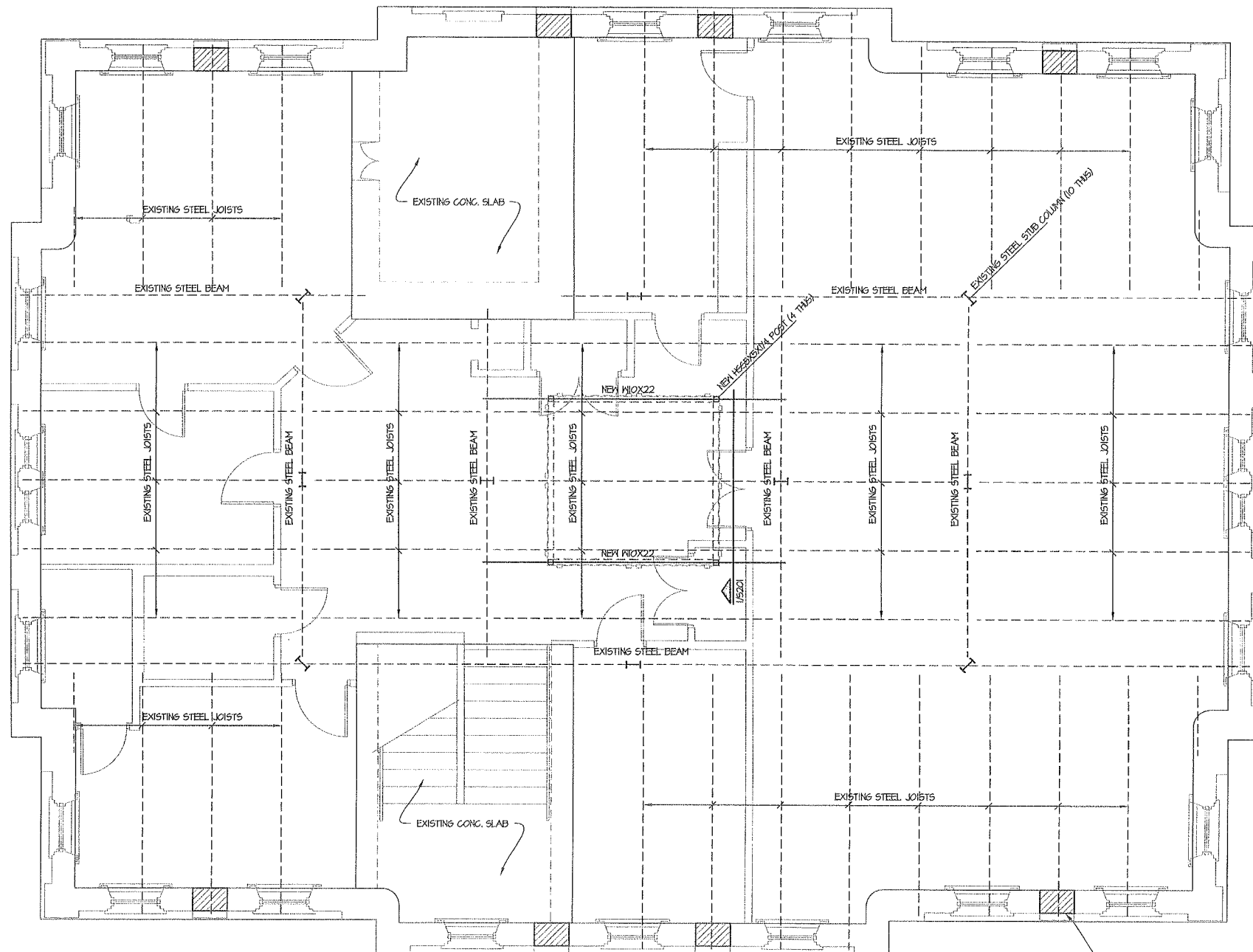


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CHECKED BY:	KWS
ISSUED:	1-30-12
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SHEET TITLE:
 Basement /
 Foundation Level
 and First Floor
 Framing Plans

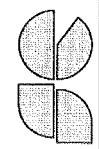
S100



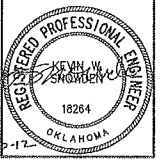
NORTH

1 CEILING FRAMING PLAN
S101 1/4" = 1'-0"

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 ARCHITECTS
 408 S. BOULDER AVENUE, SUITE 700 TULSA, OK 74103
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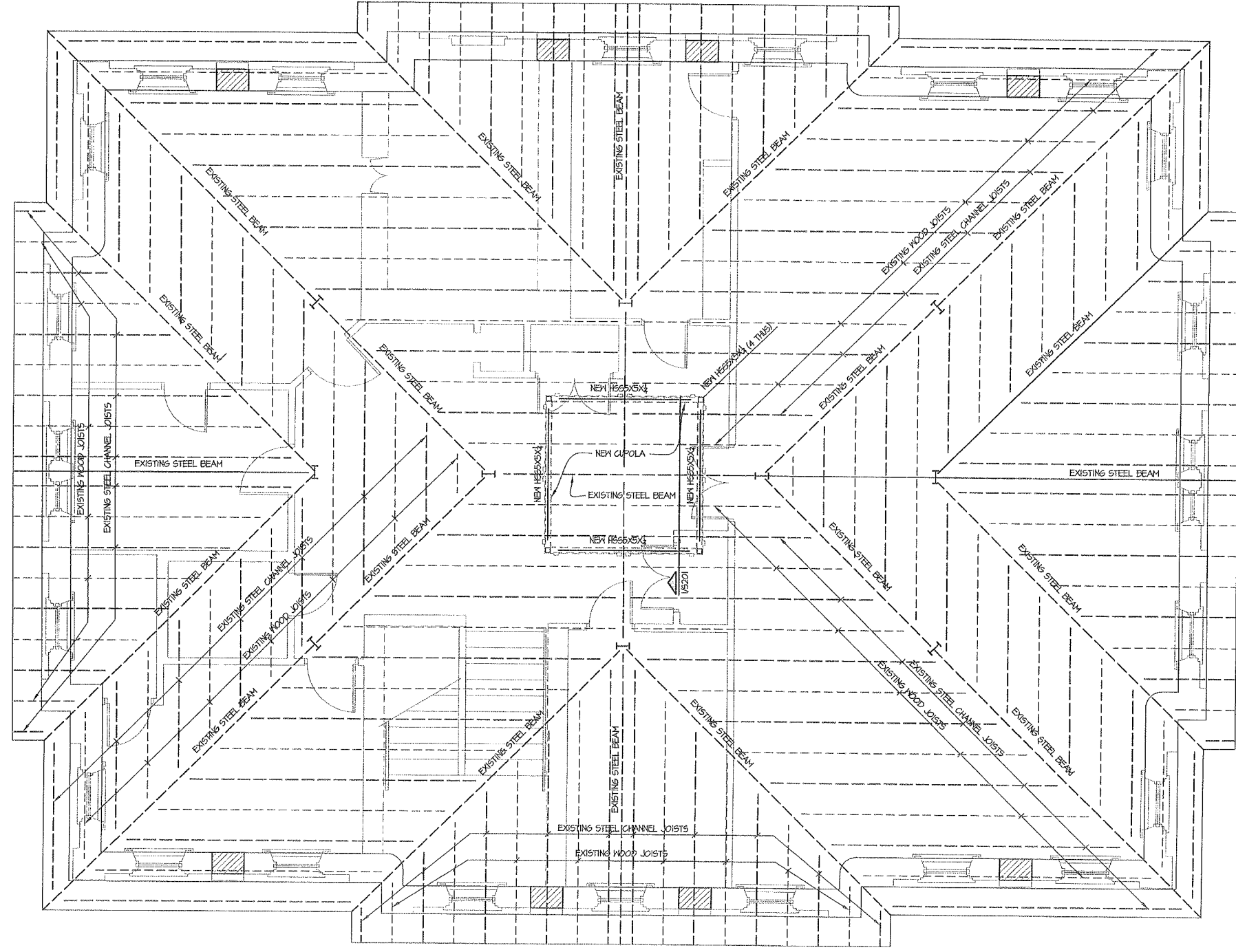


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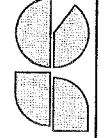
SHEET TITLE:
Ceiling Framing Plan

S101



NORTH

1 ROOF FRAMING PLAN
 S102 1/4" = 1'-0"

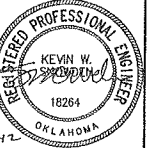


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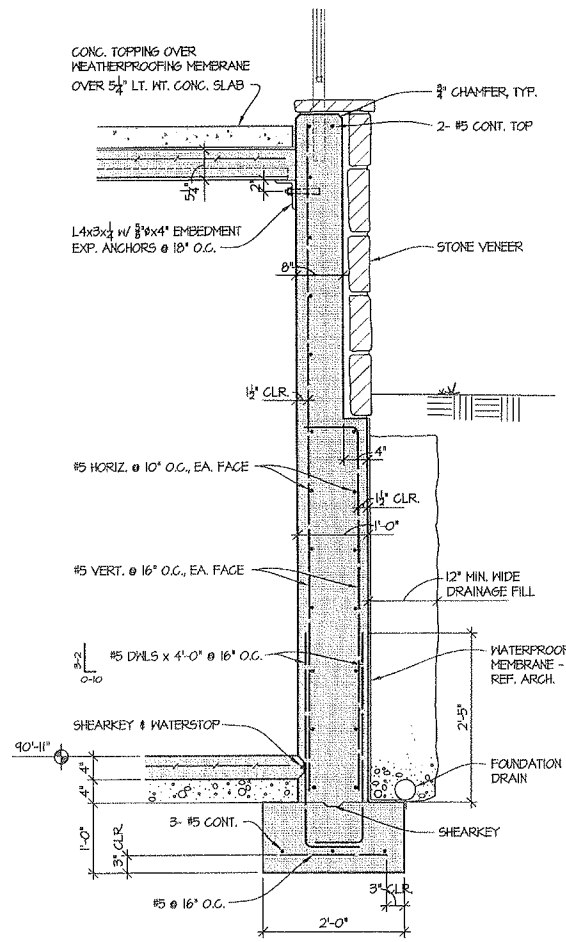
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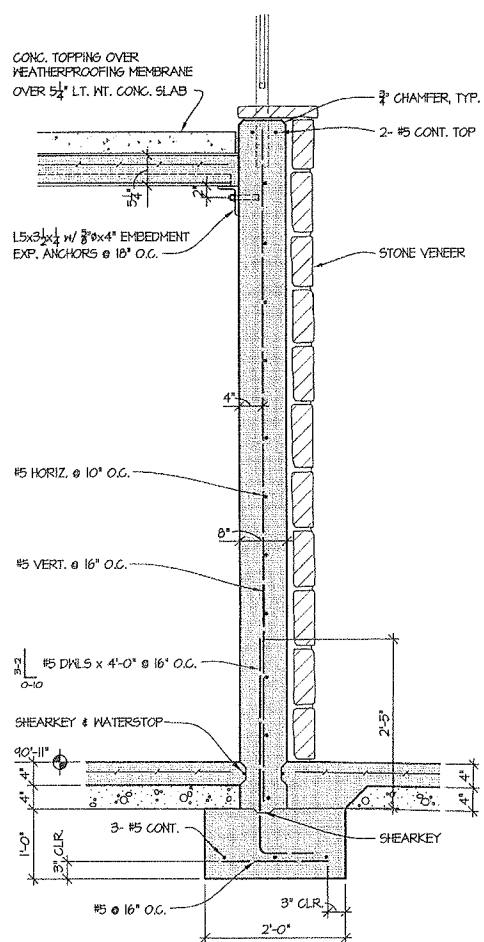
DRAWN BY:	JRC
CHECKED BY:	KWB
ISSUED:	1-30-12
REVISIONS	

SHEET TITLE:
Roof Framing Plan

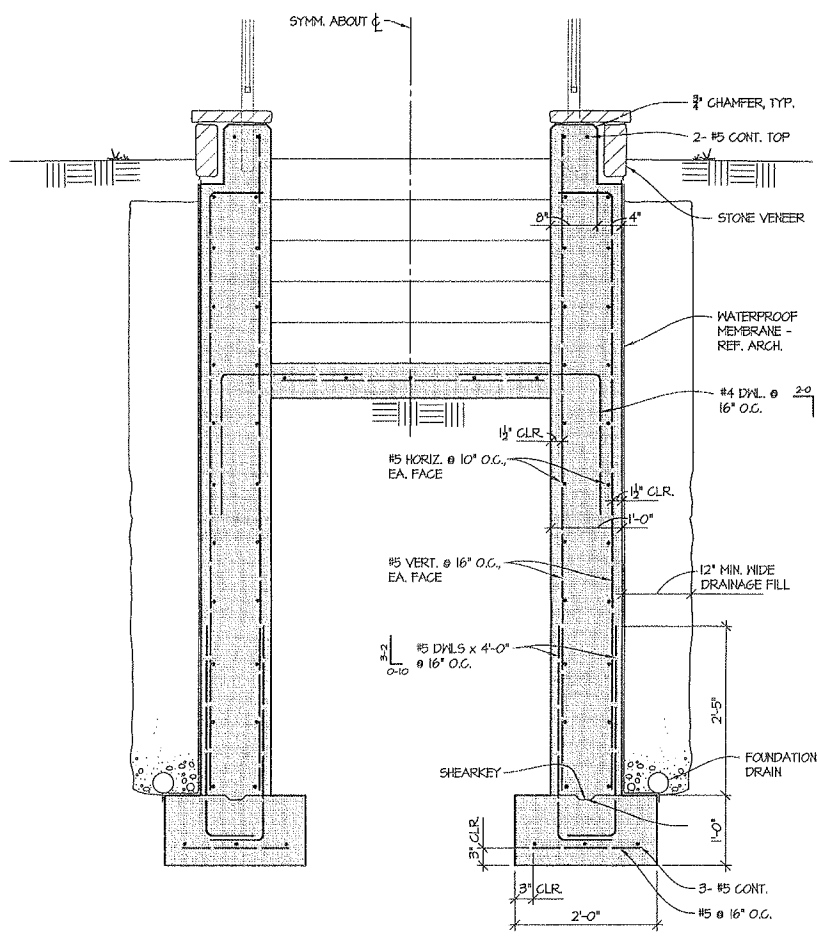
S102



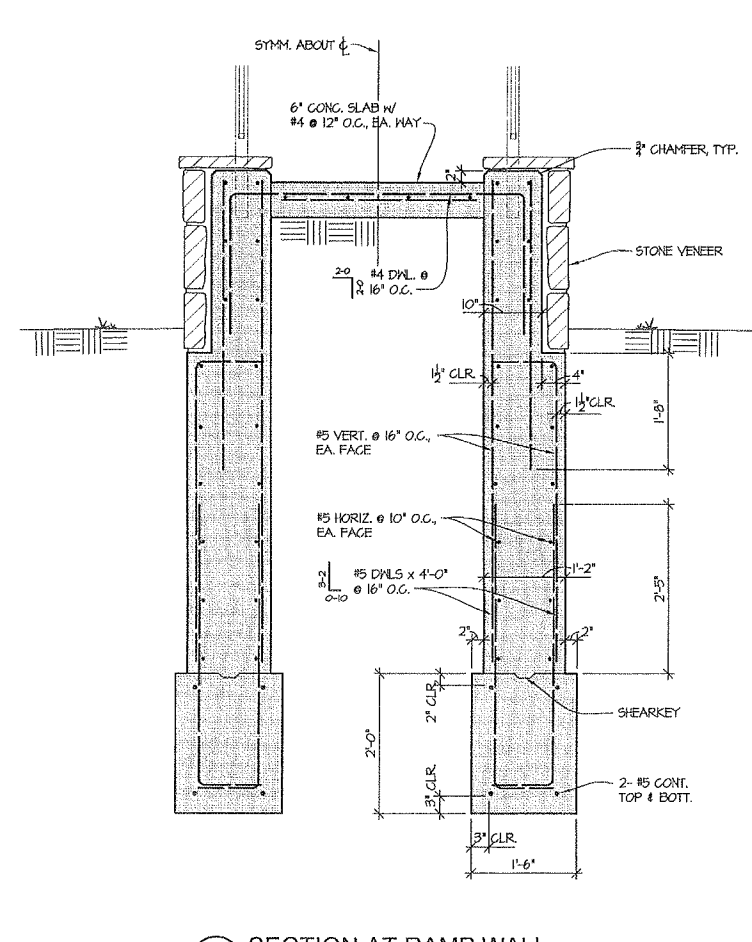
1 BASEMENT WALL SECTION
 3/4" = 1'-0"



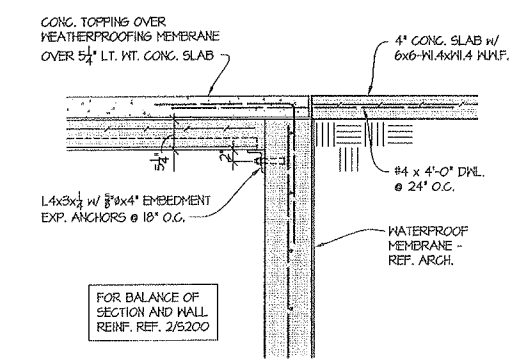
2 BASEMENT WALL SECTION
 3/4" = 1'-0"



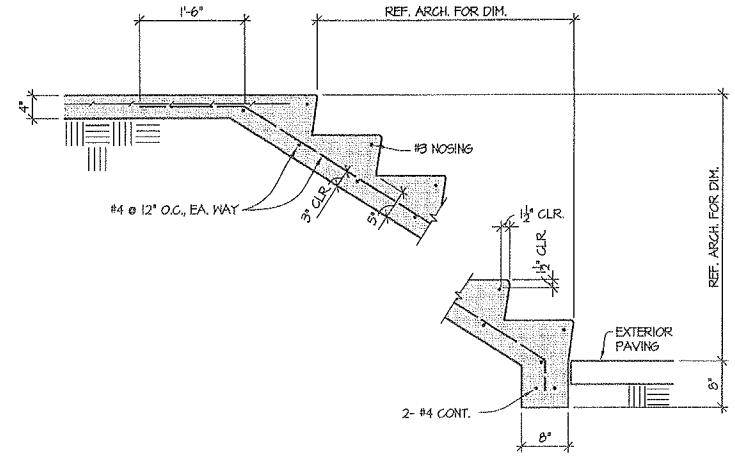
3 SECTION AT STAIR WALL
 3/4" = 1'-0"



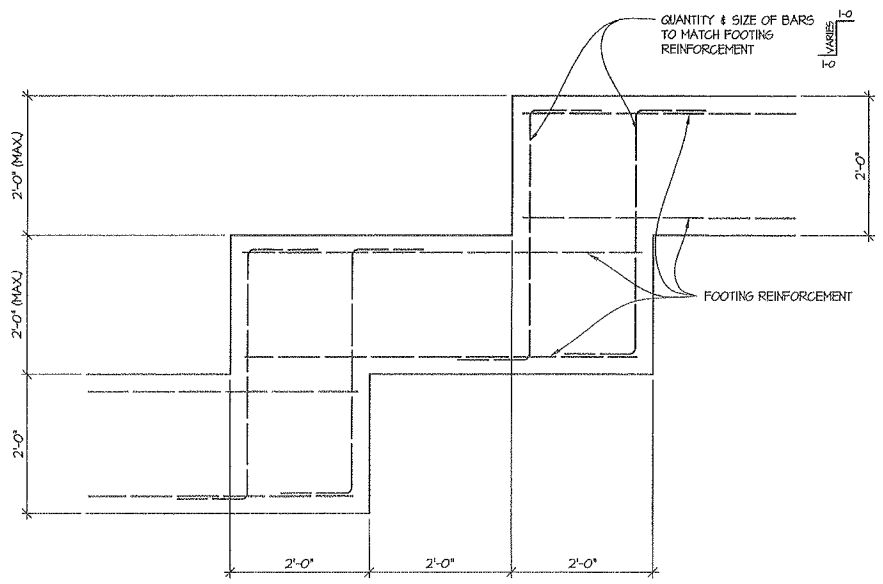
4 SECTION AT RAMP WALL
 3/4" = 1'-0"



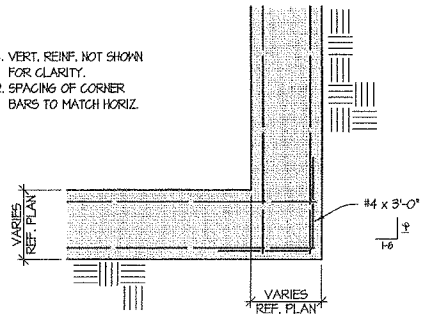
5 SECTION AT LANDING
 3/4" = 1'-0"



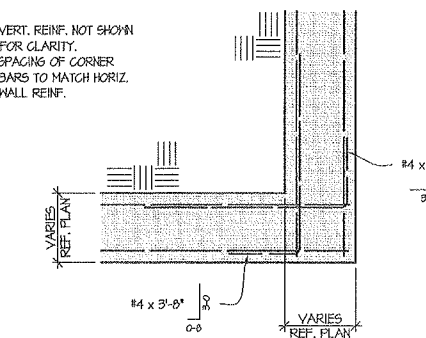
6 SECTION THRU STAIRS
 3/4" = 1'-0"



7 TYPICAL STEP FOOTING ELEVATION
 3/4" = 1'-0"

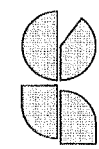


8 PLAN SECTION
 3/4" = 1'-0"



9 PLAN SECTION
 3/4" = 1'-0"

SNOWDEN ENGINEERING INC.
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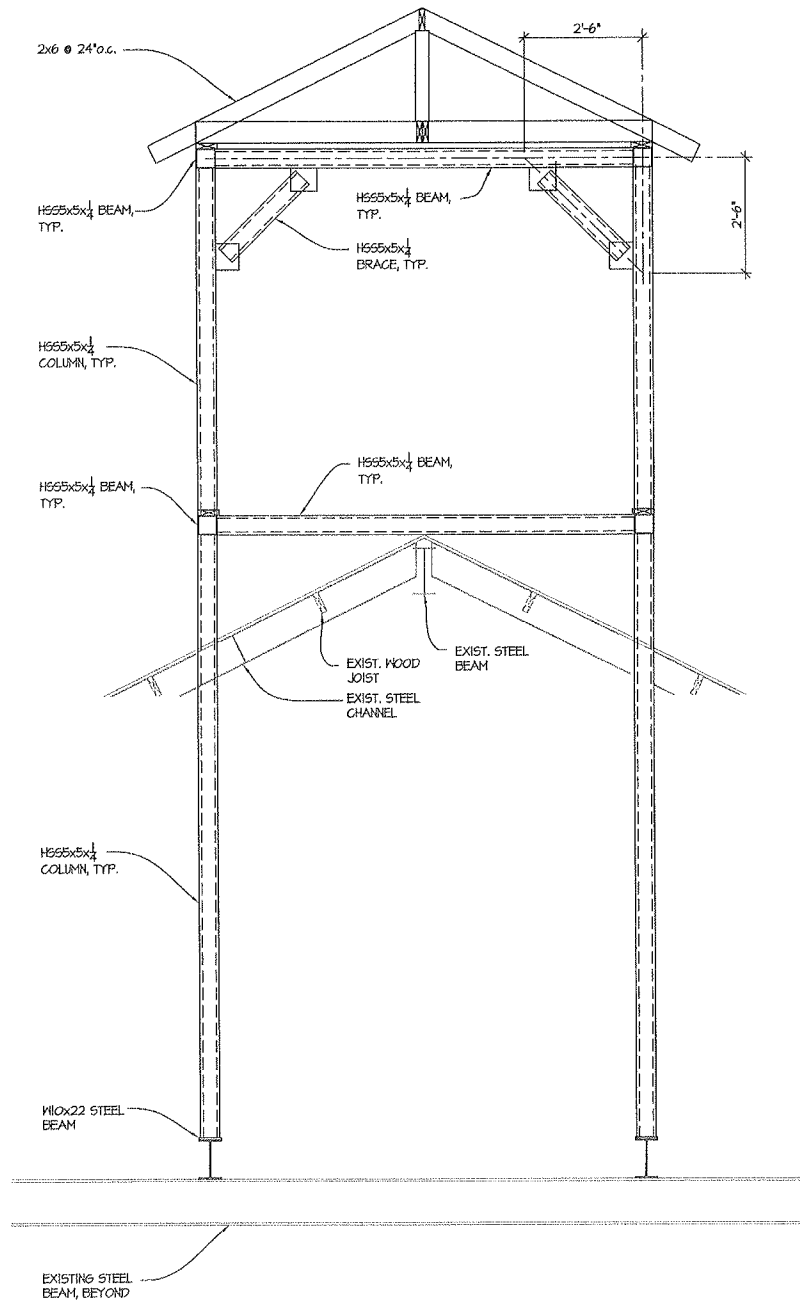


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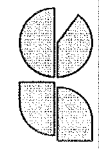
SHEET TITLE:
**Basement /
 Foundation
 Sections**

S200



1 FRAME ELEVATION
 3/2012 1/2" = 1'-0"

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SHEET TITLE:
Frame Elevation

S201