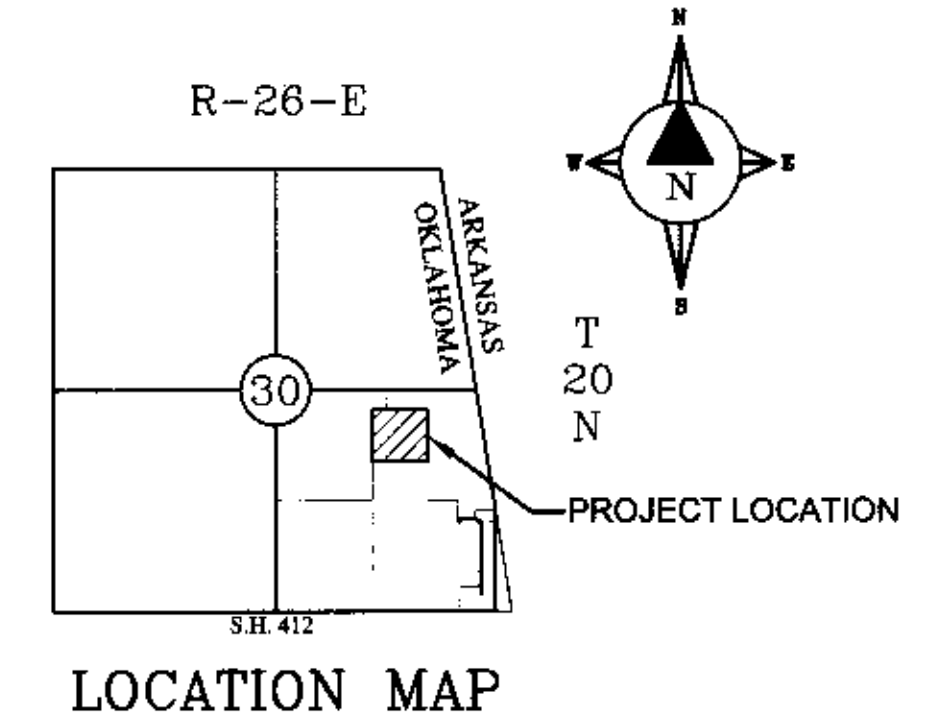


WEST SILOAM SPRINGS ESTATES WATER, SANITARY, PAVING AND STORM SEWER INFRASTRUCTURE

TOWN OF WEST SILOAM SPRINGS
DELAWARE COUNTY, OKLAHOMA



6.48 ACRES - 29 LOTS

LEGAL DESCRIPTION
A PART OF SECTION 30, TOWNSHIP 20 NORTH, RANGE 26 EAST, DELAWARE COUNTY, OKLAHOMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 30, THENCE S88°09'41"W 177.18', THENCE N01°59'39"W 1319.56', THENCE S87°45'50"W 643.49' TO THE TRUE POINT OF BEGINNING, SAID POINT BEING A SET IRON PIN AND RUNNING THENCE S87°45'50"W 18.09', THENCE N01°55'51"W 7.70', THENCE S89°26'24"W 50.73', THENCE S01°49'06"E 9.18', THENCE S87°45'50"W 191.18' TO A SET IRON PIN, THENCE N01°59'39"W 1087.68' TO A SET IRON PIN, THENCE N87°43'27"E 260.00' TO A FOUND IRON PIN, THENCE S01°59'39"E 1087.86' TO THE POINT OF BEGINNING, CONTAINING 6.48 ACRES MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD, IF ANY.

DEVELOPER
Cherokee Construction Services
Operating Manager
Rick Rogers
10838 E. Marshal St. Suite 220
Tulsa, OK 74116
Tel: (918) 384-7426

SURVEYOR/ENGINEER
SCOTT & ASSOCIATES, INC.
Land Surveyors & Engineers
CA #1041 (PLS, PE) Exp. 6/30/15
901-B Callahan Street
Muskogee, OK 74403
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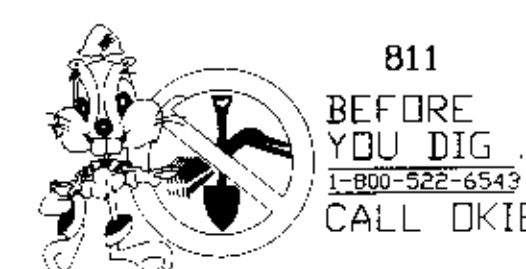
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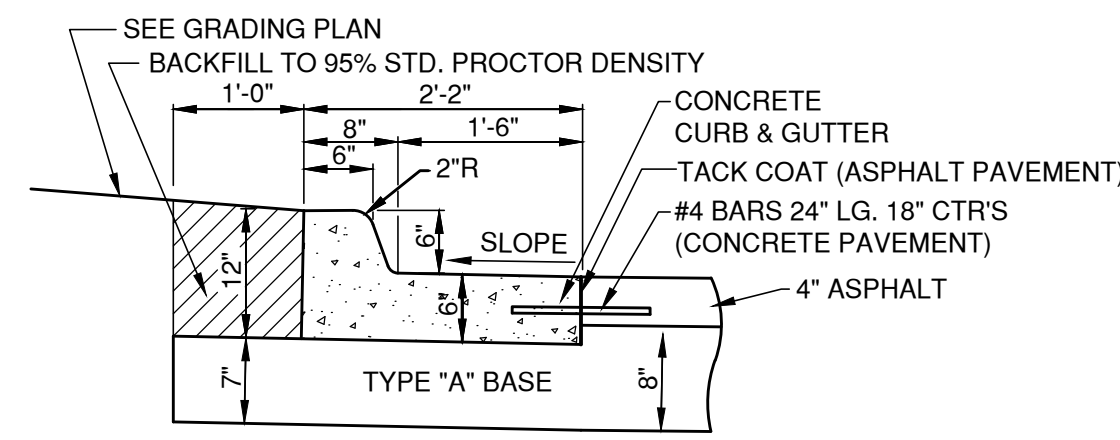


811
BEFORE YOU DIG ...
CALL OKIE
LOCATIONS OF UNDERGROUND UTILITIES WERE OBTAINED FROM THE UTILITY OWNERS. BEFORE DOING ANY WORK WITH HEAVY EQUIPMENT, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNERS OR "CALL OKIE (OKLAHOMA ONE-CALL)" NOT LESS THAN 48 HOURS IN ADVANCE AND SHALL ESTABLISH THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES.

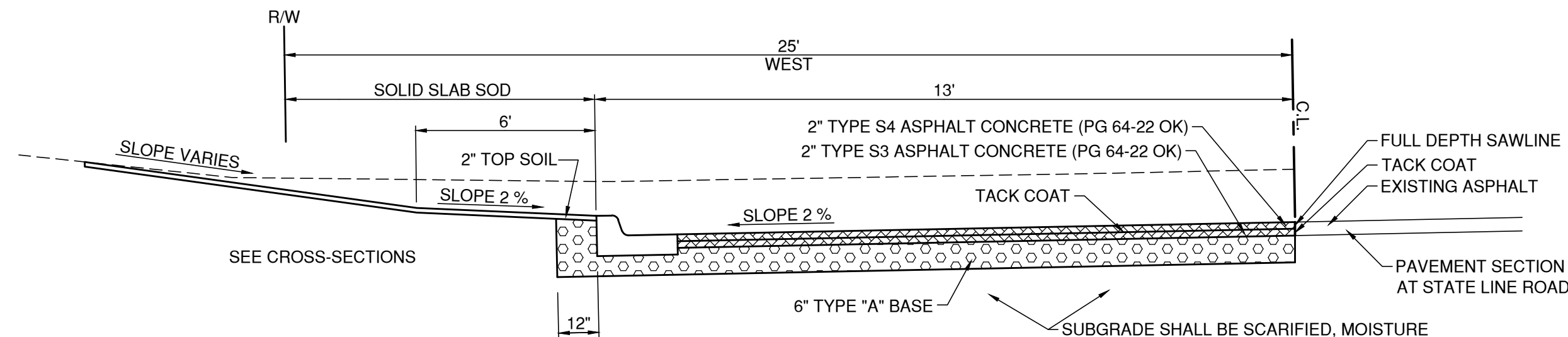


LAND SURVEYORS & ENGINEERS

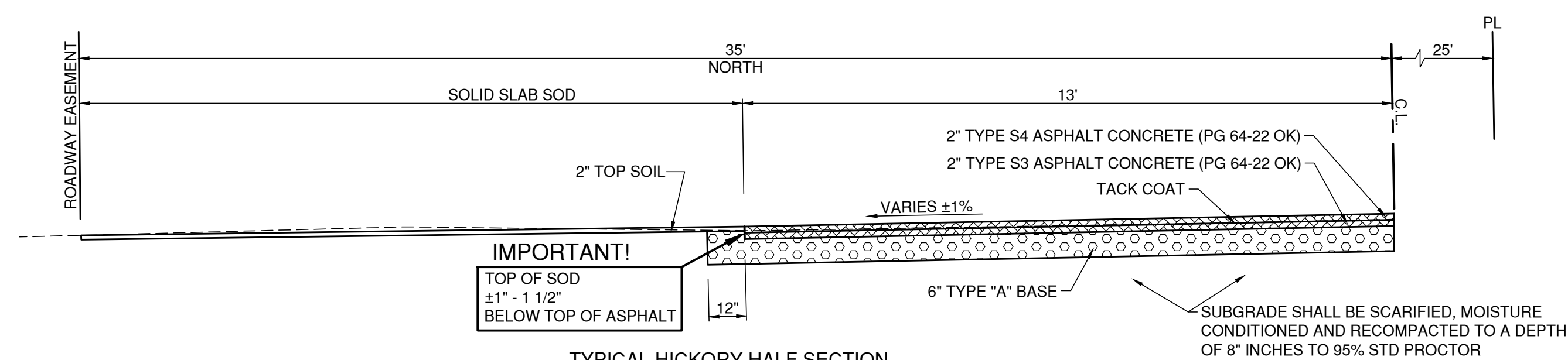
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TYPICAL BARRIER CURB AND GUTTER SECTIONS
NOT TO SCALE

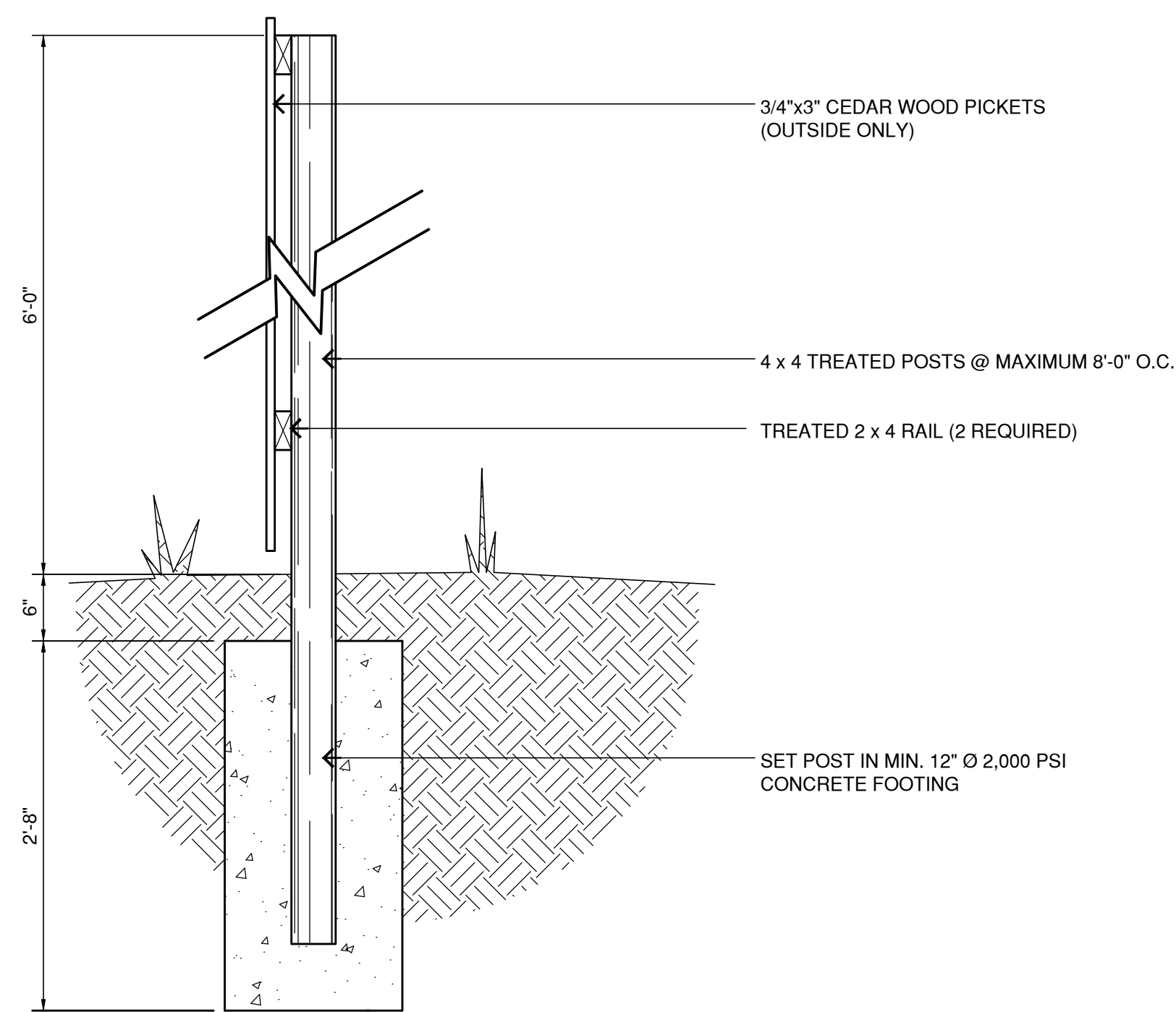


TYPICAL WALNUT HALF SECTION
NOT TO SCALE



TYPICAL HICKORY HALF SECTION
NOT TO SCALE

PAVEMENT SECTIONS



6\"/>

GENERAL NOTES:

- ALL GRADING, PAVING AND STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE OKLAHOMA DEPARTMENT OF TRANSPORTATION 2009 STANDARD SPECIFICATIONS & STANDARDS. ALL CONSTRUCTION TESTING SHALL BE IN ACCORDANCE WITH OKLAHOMA DEPARTMENT OF TRANSPORTATION (O.D.O.T.) 1999 SPECIAL PROVISION 643-GA(a-c)99 AND RELATED 1999 SPECIAL PROVISIONS AND MATERIALS TESTING e-Guide. GRADING & COMPACTION & ANY SELECT MATERIAL FOR THE BUILDING SHALL BE PER THE GEO-TECHNICAL REPORT.
- CONSTRUCTION, MATERIAL & PHYSICAL TESTING AS REQUIRED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL GIVE THE NOTIFICATION CENTER OF THE OKLAHOMA "ONE-CALL SYSTEM INC". NOTICE OF ANY EXCAVATION NO SOONER THAN TEN DAYS OR LATER THAN 72 HOURS (EXCLUDING SATURDAYS, SUNDAYS OR LEGAL HOLIDAYS), PRIOR TO COMMENCEMENT OF WORK. PHONE 1-800-522-6543.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.
- ALL CONSTRUCTION STAKING SHALL BE PERFORMED BY LICENSED SURVEYOR. ELECTRONIC DATA WILL BE MADE AVAILABLE TO THE SURVEYOR FOR HIS USE.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS GOVERNING SAFETY, HEALTH, AND SANITATION. THE CONTRACTOR SHALL PROVIDE ALL SAFEGUARDS, SAFETY DEVICES AND PROTECTIVE EQUIPMENT, AND TAKE ANY OTHER NEEDED ACTIONS ON HIS OWN RESPONSIBILITY OR AS THE ENGINEER MANY DETERMINE REASONABLY NECESSARY TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF THE WORK COVERED BY THE CONTRACT. THE CONTRACTOR SHALL COMPLY WITH THE LATEST OSHA REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED.
- ALL DIMENSIONS SHALL BE COORDINATED WITH ENGINEER. AN ELECTRONIC FORMAT WILL BE AVAILABLE TO SURVEYOR.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A DISCREPANCY OR INCONSISTENCY IS IDENTIFIED ON THE PLANS AND/OR SPECIFICATIONS IMMEDIATELY.
- CONTRACTOR SHALL KEEP ON SITE A CURRENT SET OF THE APPROVED CONSTRUCTION WORKING DRAWINGS AT ALL TIMES. THE CONTRACTOR SHALL MARK (IN RED) ALL APPROVED CHANGES INCURRED FOLLOWING APPROVAL OF THE INITIAL DRAWINGS. THESE CHANGES MAY BE INITIATED FROM FIELD CONDITIONS OR CHANGES MADE BY THE DESIGN ENGINEER. EXCEPT FOR MINOR FIELD ADJUSTMENTS, ALL CHANGES SHALL BE REVIEWED AND AGREED TO BY THE DESIGN ENGINEER PRIOR TO FINAL APPROVAL OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT THE WORKING DRAWINGS TO THE DESIGN ENGINEER AFTER FINAL INSPECTION OF THE PROJECT TO SERVE AS A BASIS FOR DEVELOPMENT OF THE FINAL AS-BUILT RECORD DRAWINGS.

GRADING NOTES:

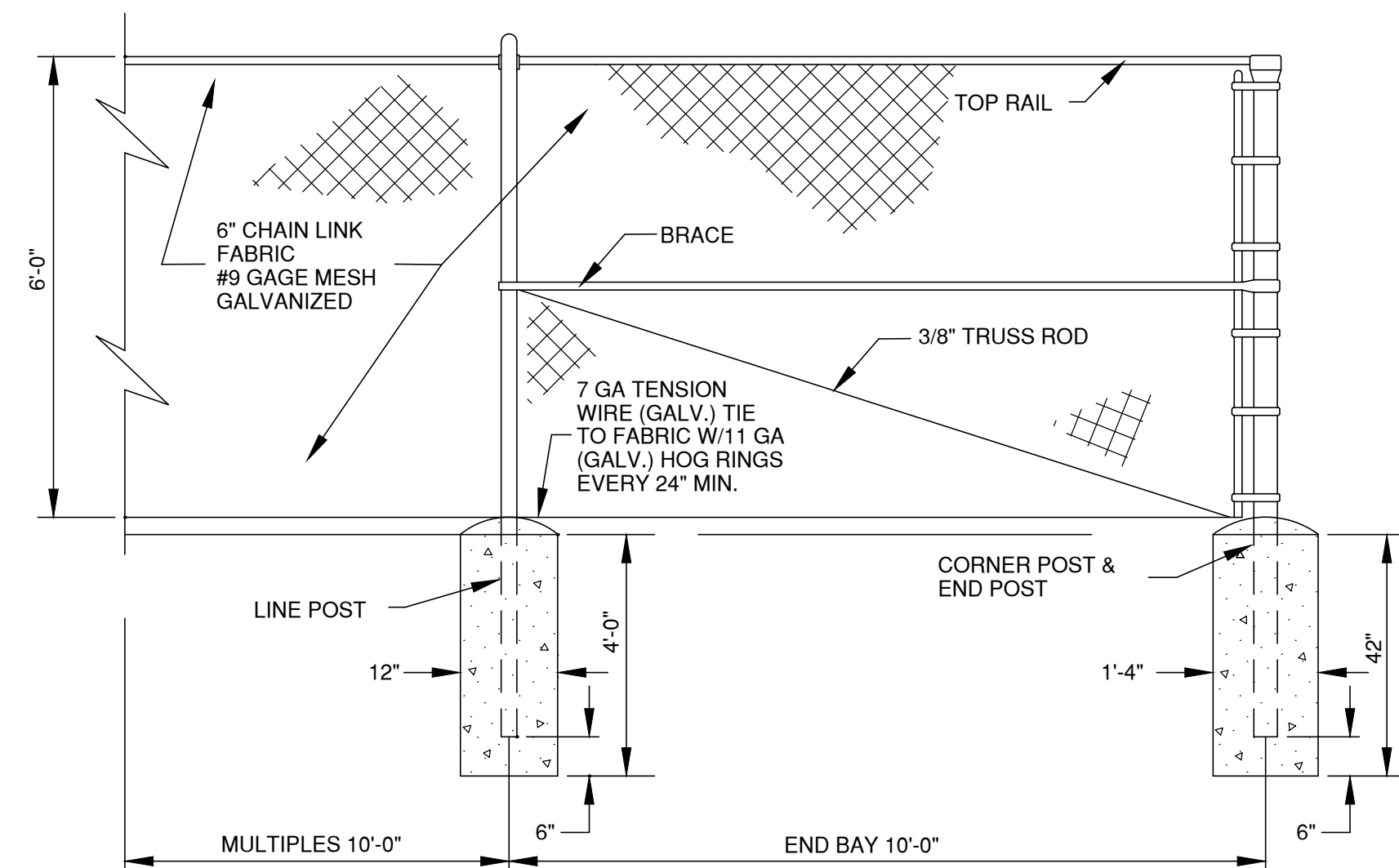
- ALL GRADING AND EROSION CONTROL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION CONTROL PLANS AND O.D.O.T. SPECIFICATIONS AND STANDARDS.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- ALL EXISTING USABLE TOPSOIL (AS APPROVED BY THE CONTRACTORS TESTING LAB) SHALL BE STRIPPED AND STOCKPILED IN AN AREA APPROVED BY THE OWNER AND RESPREAD AS DIRECTED BY OWNER AFTER GRADING IS COMPLETED.
- STRIPPING, PROOF ROLLING, SUBGRADE SCARIFICATION AND COMPACTION, AND FILL CONSTRUCTION FOR THE SITE, PAVING AREAS AND BUILDING SHALL BE PERFORMED ACCORDING TO THE ODOTS 2009 SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN SPECIFIED COMPACTION REQUIREMENTS AND SHALL CONTACT THE TOWN OF HINTON FOR ANY METER PERMITS.
- SUBGRADE STABILIZATION SHALL BE PER PLANS OR AS DIRECTED BY THE CONTRACTOR'S TESTING FIRM.
- ENGINEER WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
- GEO-TECHNICAL CONSTRUCTION & MATERIAL TESTING WILL BE PROVIDED BY THE CONTRACTOR. ANY FAILING TEST SHALL BE RE-TESTED AT THE CONTRACTOR'S EXPENSE UNTIL PASSING TESTS ARE OBTAINED.
- UNDERCUTTING OF SOFT SPOTS AND PLACEMENT OF EARTHWORK IS GOVERNED BY THE GEO-TECHNICAL REPORT FOR THE SITE.
- CORRECTIVE MEASURES DIRECTED BY THE ENGINEER MAY INCLUDE COMPLETE REMOVAL AND REPLACEMENT AT NO COST TO THE OWNER IN CASES OF POOR WORKMANSHIP OR UNSATISFACTORY IN-PLACE CONDITIONS.
- SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OR FILLING OPERATIONS SHALL RECEIVE 4\"/>

SITE NOTES:

- THE WORK AND MATERIAL SHALL COMPLY WITH ALL CITY/COUNTY/STATE FEDERAL REGULATIONS CODES AND OSHA STANDARDS.
- CONTRACTOR SHALL COORDINATE PLANS AND REFER TO STRUCTURAL & BUILDING PLANS AS NEEDED.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS
- ALL CURB/SIDEWALK/VAN HANDICAP CONSTRUCTION SHALL CONFORM TO FEDERAL ADA STANDARDS OR LOCAL CODES, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MATCH THE PROPOSED DRIVEWAYS TO THE EXISTING ASPHALT ROADWAY PAVEMENT.

6\"/>

- SECURITY GATE & FENCING SHALL BE 6\"/>



6\"/>

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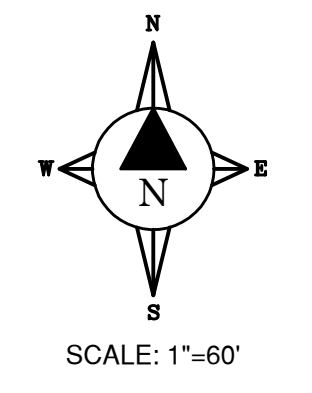
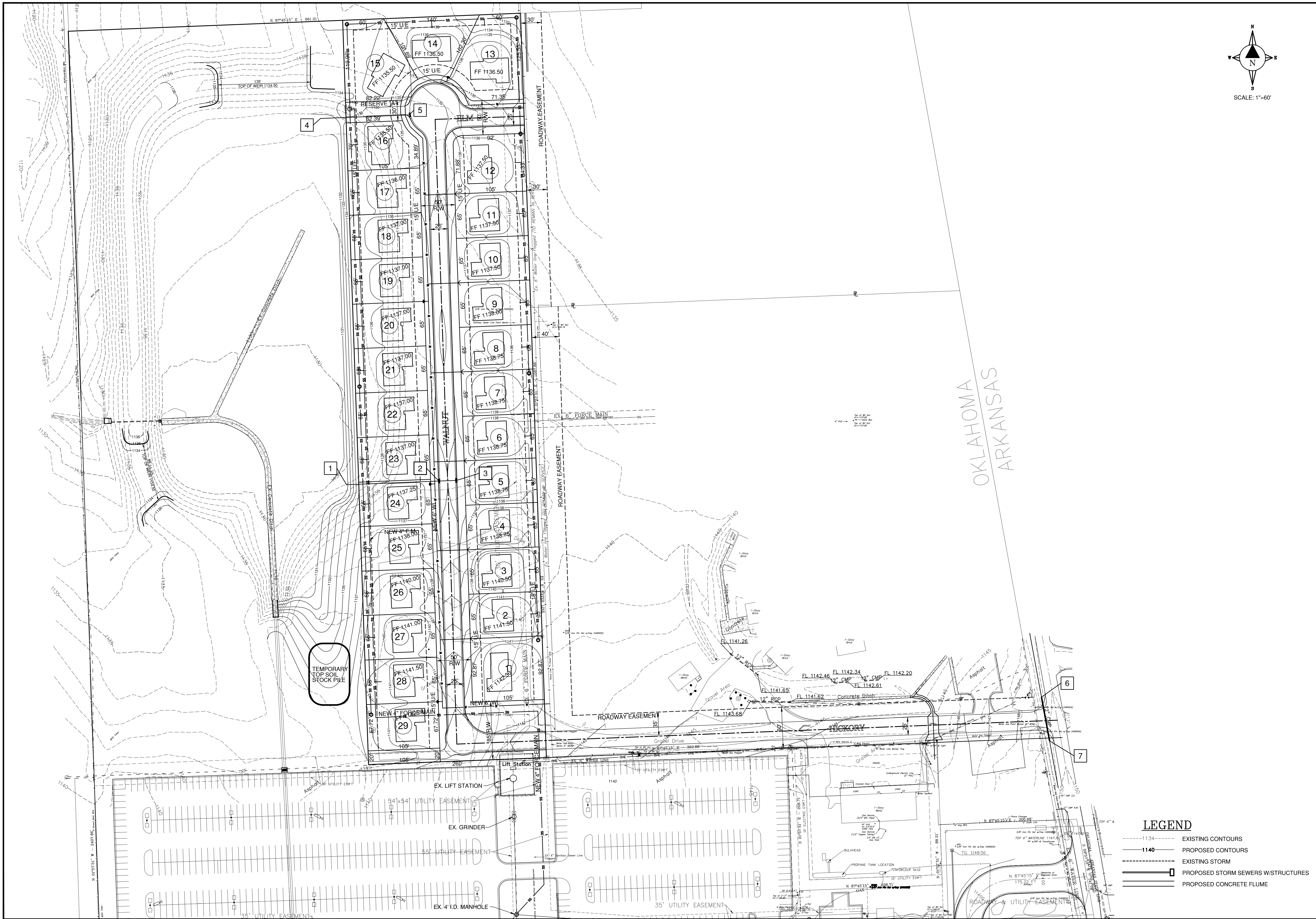


WEST SILOAM SPRINGS ESTATES	
TYPICAL SECTIONS & NOTES	
FIELD SURVEY:	DATE LAST SITE VISIT:
DRAWN BY:	DATE PREPARED:
	10/15/14

LEGEND

○	Cor. Find	□	Benchmark
○	Original Stone	△	Electric Meter
○	Control Point	△	Power Pole
○	Overhead Electric	△	Telephone Pedestal
○	Water Line	△	Fire Hydrant
○	Gas Line	△	Water Meter
○	Centerline	△	Light Pole
○	Telephone	△	Cay Anchor
○	Lat and Block Line	△	C&G = CURB & GUTTER
○	Fiber Optic Cable		
○	Banded Electric		

NO.	REVISION	DATE	BY



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WEST SILOAM SPRINGS
 ESTATES

OVERALL GRADING PLAN

FIELD SURVEY: DATE LAST SITE VISIT:
 DRAWN BY: DATE PREPARED:
 10/15/14

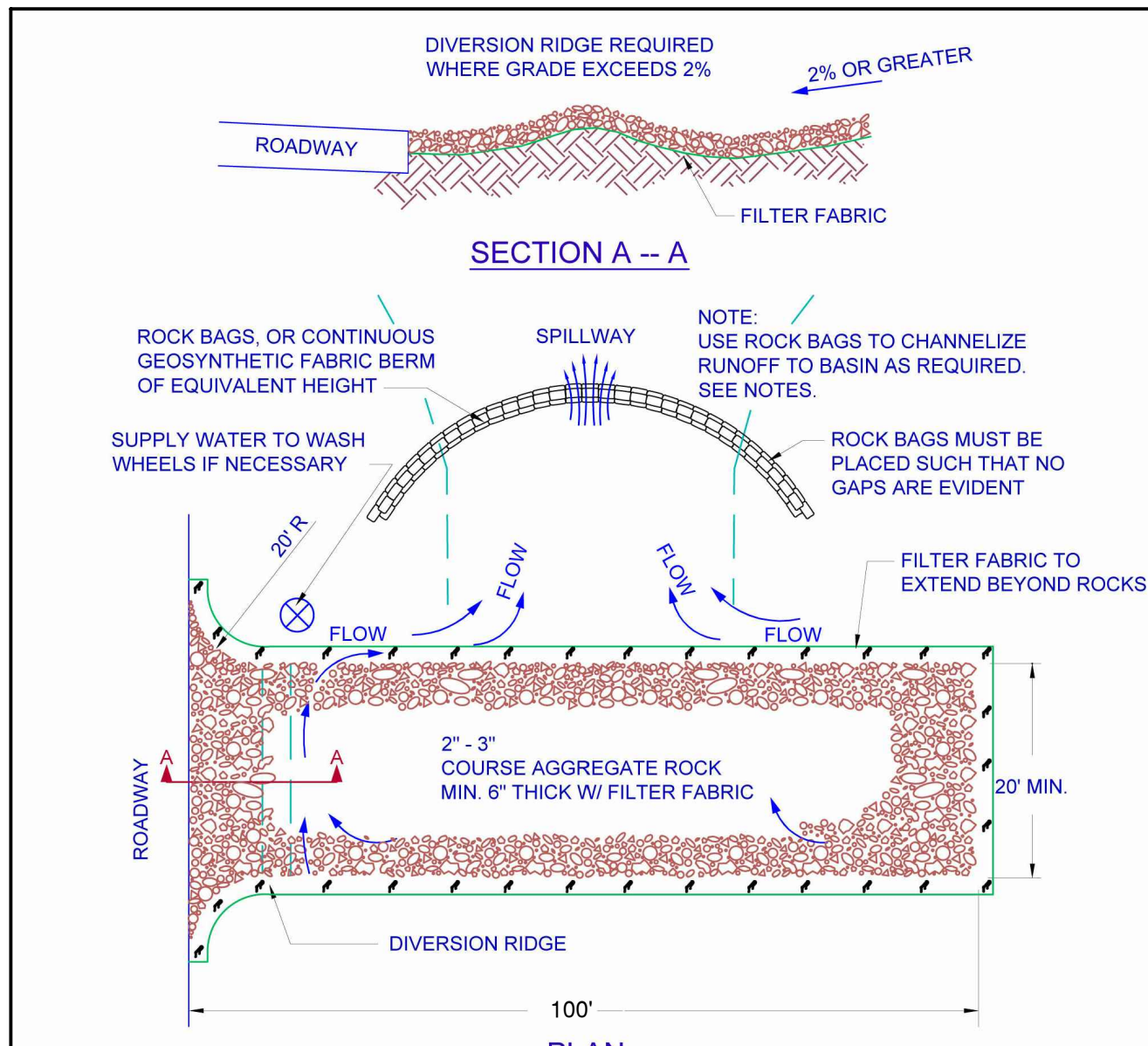
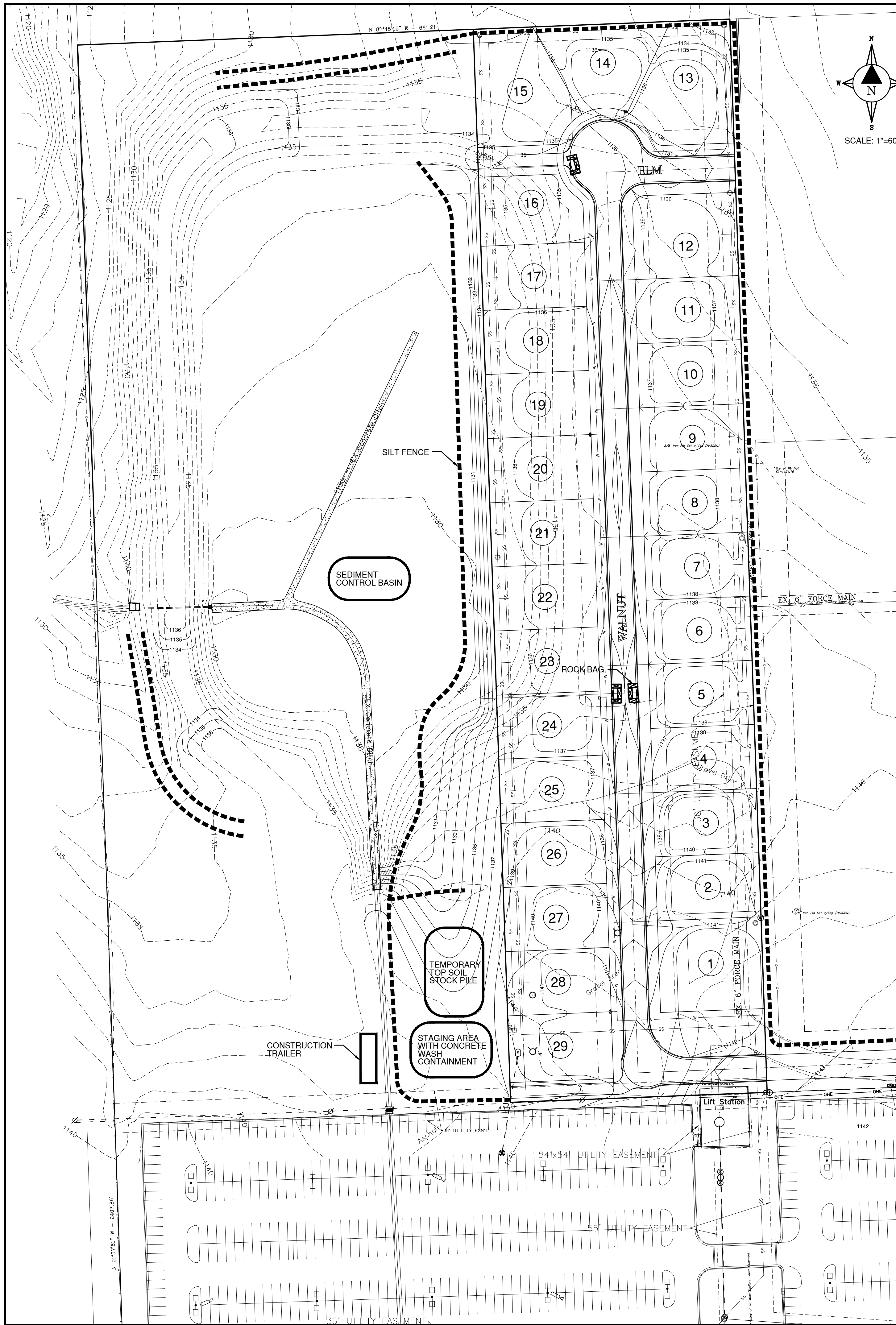
LEGEND

○	Cor. Find	BM	Benchmark
□	Original Stone Find	EM	Electric Meter
△	Control Point	PH	Power Pole
—	Overhead Electric	TP	Telephone Pedestal
—	Water Line	FM	Fire Hydrant
—	Gas Line	WM	Water Meter
—	Centerline	LP	Light Pole
—	Telephone	CA	Cuy Anchor
—	Lot and Block Line	C&C	C&C = CURB & GUTTER
—	Fiber Optic Cable		
—	Banded Electric		

NO.	REVISION	DATE	BY

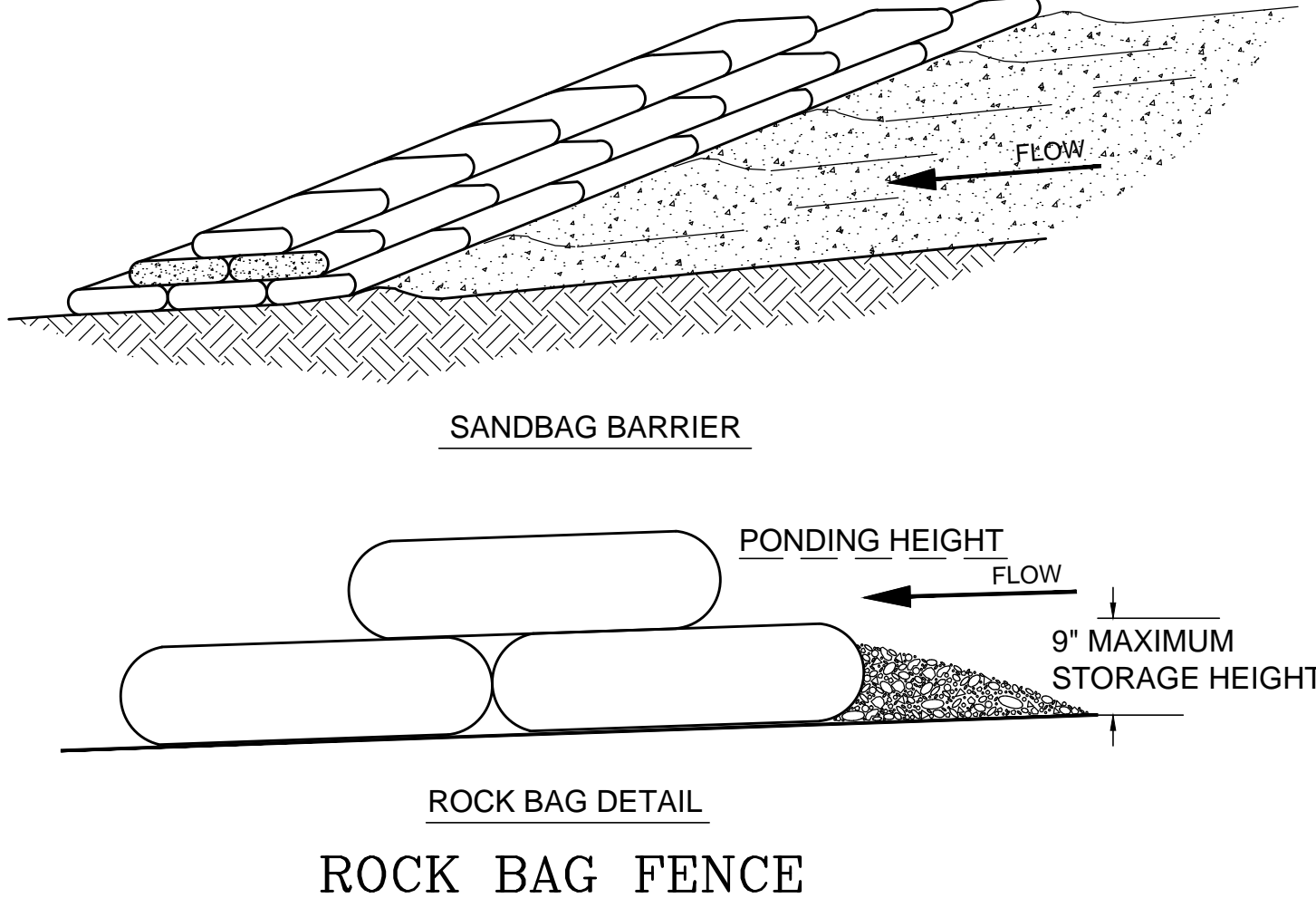
LEGEND

---	1134	EXISTING CONTOURS
---	1140	PROPOSED CONTOURS
---		EXISTING STORM
---		PROPOSED STORM SEWERS W/STRUCTURES
---		PROPOSED CONCRETE FLUME



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. BAGS OF WOVEN GEOTEXTILE FABRIC, FILLED WITH GRAVEL MUST BE LAYERED SUCH THAT NO GAPS ARE EVIDENT.

TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT*



EROSION CONTROL NOTES:

1. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES FOR SOIL EROSION CONTROL. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
2. THE CONTRACTOR SHALL DENOTE ON THE PLANS THE CONSTRUCTION EMPLOYEE PARKING, STORAGE AREA, EQUIPMENT STORAGE AND JOB TRAILERS INCLUDING UTILITIES AND EROSION CONTROLS.
3. ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE EXECUTION OF ANY CLEARING & GRUBBING OR GRADING WORK AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT. FAILURE TO INSTALL AND MAINTAIN EROSION CONTROL IS A VIOLATION OF STATE AND FEDERAL LAW AND SUBJECT TO FINE.
4. THE APPROPRIATE EROSION CONTROL DEVICES(S) SHALL BE INSTALLED PRIOR TO THE INCEPTION OF ANY LAND DISTURBING ACTIVITY AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST.
5. ALL EROSION CONTROL DEVICES AND THEIR INSTALLATION SHALL MEET THE STANDARDS PRESCRIBED IN THE CURRENT GUIDELINES FOR STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER RAIN STORMS, AND RESTORED AS NECESSARY IMMEDIATELY.
6. SILT FENCE INCLUDING STABILIZED CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED PER DETAIL SHOWN ON THIS SHEET.
7. SEDIMENT COLLECTED AT SILTATION BASIN AND BEHIND SILT FENCES SHALL BE REMOVED WHEN SEDIMENT REACHES ONE THIRD THE HEIGHT OF THE BARRIER.
8. SILT FENCES SHALL BE INSPECTED AND MAINTAINED NO LESS THAN WEEKLY OR WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.50 INCHES OR MORE. MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO SEDIMENT REMOVAL, BARRIER REPAIR AND/OR REPLACEMENT.
9. CONSTRUCTION SITE ENTRANCE: THE CONTRACTOR SHALL CONSTRUCT AS A MINIMUM ONE STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION SHOWN ON THE PLANS. IF ADDITIONAL INGRESS AND EGRESS TO THE CONSTRUCTION SITE IS REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER & CITY FOR ADDITIONAL STABILIZED ENTRANCES. USAGE OF NON-STABILIZED POINTS OF INGRESS AND EGRESS WILL NOT BE PERMITTED. THE STABILIZED ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY AND PAVED DRIVING LANES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT. REPAIR OF THE ENTRANCES OR CLEANING OF THE RIGHT OF WAY AND PAVED DRIVING LANES THAT HAVE BEEN SOILED SHALL BE PERFORMED BY THE CONTRACTOR AT HIS OWN EXPENSE SATISFACTORY TO THE ENGINEER AND/OR CONSTRUCTION MANAGER. WHEN NECESSARY VEHICLE WHEELS AND TIRES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING ONTO PUBLIC RIGHTS OF WAY AND PUBLIC STREETS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A STABILIZED AREA WITH CRUSHED STONE. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM SEWERS MUST BE REMOVED IMMEDIATELY.
10. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PERIODICALLY WATER THE SITE TO CONTROL DUST.
11. SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED FOLLOWING CONSTRUCTION OR UPON PERMANENT STABILIZATION OF THE DISTURBED AND GRADED AREAS, WHICHEVER OCCURS LAST.
12. WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR 14 DAYS THE DISTURBED AREAS SHALL BE STABILIZED WITH SEED AND MULCH (SEE TEMPORARY EROSION CONTROL).
13. ON-SITE AND OFFSITE SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
14. ALL DISTURBED AREAS TO BE SOLID SLAB SOD OR SEEDED.

***NOTES:**

1. A 'REASONABLE' DESIGN SIZE PARTICLE MUST BE SELECTED.
2. SIZE DISTRIBUTION OR UPSTREAM SOIL PARTICLES MUST BE EVALUATED.
3. INFLOW AND OUTFLOW FROM THE SYSTEM FOR A SPECIFIC FREQUENCY STORM MUST BE KNOWN.
4. POND VOLUME IS DIRECTLY PROPORTIONAL TO THE DISCHARGE RATE OF THE SYSTEM.
5. POND VOLUME IS INVERSELY PROPORTIONAL TO THE MASS OF THE DESIGN SIZE SUSPENDED PARTICLE.
6. A SYSTEM MUST PROVIDE SUFFICIENT FLOW TO ALLOW FOR DEPOSITION OF DESIGN PARTICLES.
7. THE PONDING HEIGHT MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
8. ROCK BAG SILT BARRIER SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE POUNDING EFFICIENCY.
9. PLACE ROCK BAG SUCH THAT NO GAPS ARE EVIDENT.
10. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
11. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

LEGEND

- SILT FENCE (SEE ODOT STANDARDS)
- ROCK BAG FILTER (SEE DETAIL THIS SHEET)
- CONSTRUCTION ENTRANCE
- EXISTING CONTOURS
- PROPOSED CONTOURS

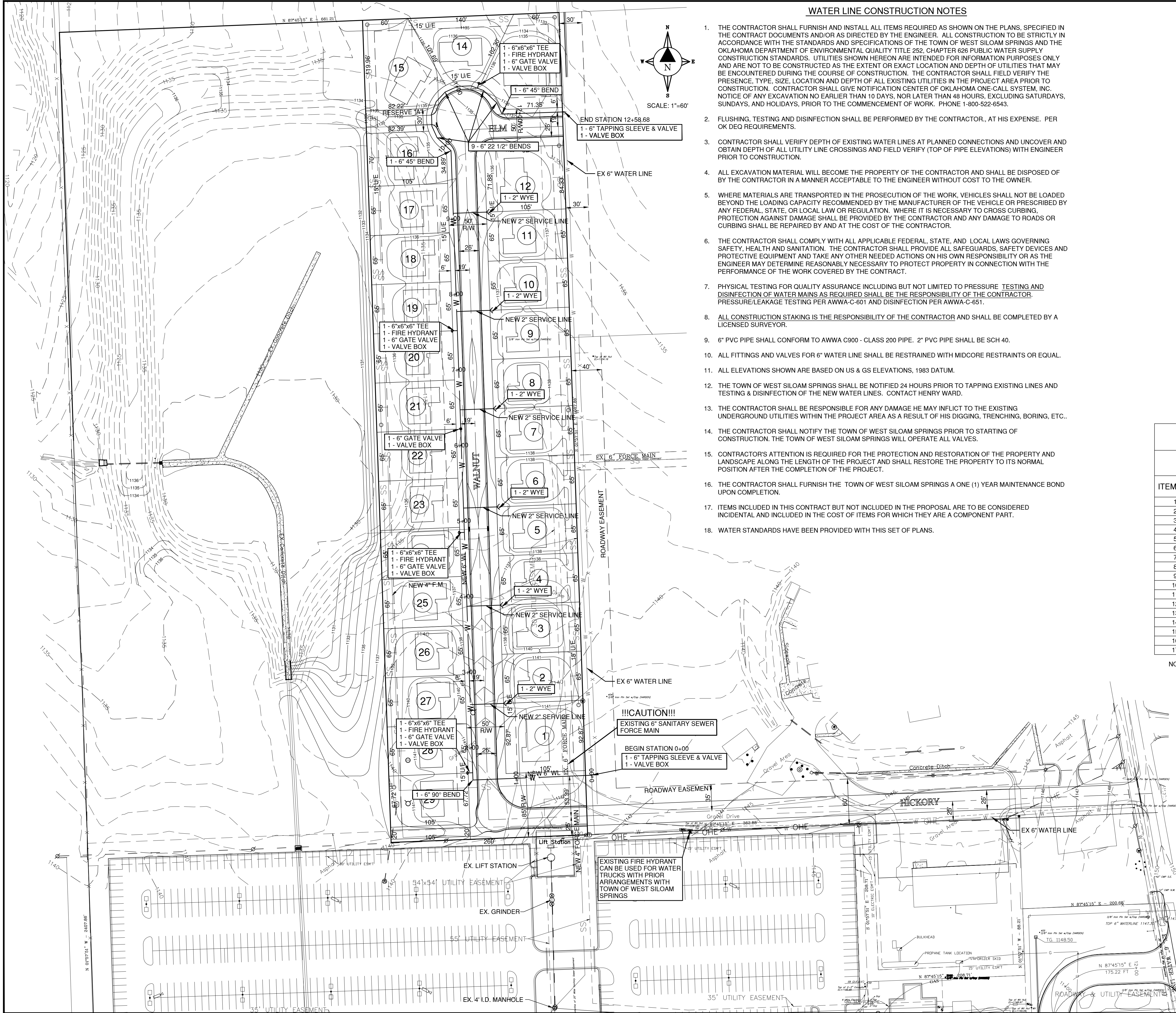
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 Tel: (918) 682-7577

WEST SILOAM SPRINGS ESTATES	
EROSION CONTROL PLAN	
FIELD SURVEY:	DATE LAST SITE VISIT:
DRAWN BY:	DATE PREPARED:
	10/15/14

LEGEND

BK	= Benchmark
EM	= Electric Meter
EP	= Power Pole
GR	= Gas Line
TP	= Telephone Pedestal
FH	= Fire Hydrant
WM	= Water Meter
CP	= Centerline
LP	= Light Pole
CA	= Guy Anchor
C&G	= CURB & GUTTER
Cor. Pnd	= Control Point
Orig. Stone	= Original Stone
Overhead	= Overhead Electric
Water	= Water Line
Gas	= Gas Line
Centerline	= Centerline
Telephone	= Telephone
Lat and Black	= Lat and Black Line
Fiber Optic	= Fiber Optic Cable
Banded	= Banded Electric

NO.	REVISION	DATE	BY
5	OF 19		
	SHEET NO.		



WATER LINE CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED AS SHOWN ON THE PLANS, SPECIFIED IN THE CONTRACT DOCUMENTS AND/OR AS DIRECTED BY THE ENGINEER. ALL CONSTRUCTION TO BE STRICTLY IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF WEST SILOAM SPRINGS AND THE OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY TITLE 252, CHAPTER 626 PUBLIC WATER SUPPLY CONSTRUCTION STANDARDS. UTILITIES SHOWN HEREON ARE INTENDED FOR INFORMATION PURPOSES ONLY AND ARE NOT TO BE CONSTRUCTED AS THE EXTENT OR EXACT LOCATION AND DEPTH OF UTILITIES THAT MAY BE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL FIELD VERIFY THE PRESENCE, TYPE, SIZE, LOCATION AND DEPTH OF ALL EXISTING UTILITIES IN THE PROJECT AREA PRIOR TO CONSTRUCTION. CONTRACTOR SHALL GIVE NOTIFICATION CENTER OF OKLAHOMA ONE-CALL SYSTEM, INC. NOTICE OF ANY EXCAVATION NO EARLIER THAN 10 DAYS, NOR LATER THAN 48 HOURS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, PRIOR TO THE COMMENCEMENT OF WORK. PHONE 1-800-522-6543.
2. FLUSHING, TESTING AND DISINFECTION SHALL BE PERFORMED BY THE CONTRACTOR, AT HIS EXPENSE. PER OK DEQ REQUIREMENTS.
3. CONTRACTOR SHALL VERIFY DEPTH OF EXISTING WATER LINES AT PLANNED CONNECTIONS AND UNCOVER AND OBTAIN DEPTH OF ALL UTILITY LINE CROSSINGS AND FIELD VERIFY (TOP OF PIPE ELEVATIONS) WITH ENGINEER PRIOR TO CONSTRUCTION.
4. ALL EXCAVATION MATERIAL WILL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE ENGINEER WITHOUT COST TO THE OWNER.
5. WHERE MATERIALS ARE TRANSPORTED IN THE PROSECUTION OF THE WORK, VEHICLES SHALL NOT BE LOADED BEYOND THE LOADING CAPACITY RECOMMENDED BY THE MANUFACTURER OF THE VEHICLE OR PRESCRIBED BY ANY FEDERAL, STATE, OR LOCAL LAW OR REGULATION. WHERE IT IS NECESSARY TO CROSS CURBING, PROTECTION AGAINST DAMAGE SHALL BE PROVIDED BY THE CONTRACTOR AND ANY DAMAGE TO ROADS OR CURBING SHALL BE REPAIRED BY AND AT THE COST OF THE CONTRACTOR.
6. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS GOVERNING SAFETY, HEALTH AND SANITATION. THE CONTRACTOR SHALL PROVIDE ALL SAFEGUARDS, SAFETY DEVICES AND PROTECTIVE EQUIPMENT AND TAKE ANY OTHER NEEDED ACTIONS ON HIS OWN RESPONSIBILITY OR AS THE ENGINEER MAY DETERMINE REASONABLY NECESSARY TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF THE WORK COVERED BY THE CONTRACT.
7. PHYSICAL TESTING FOR QUALITY ASSURANCE INCLUDING BUT NOT LIMITED TO PRESSURE TESTING AND DISINFECTION OF WATER MAINS AS REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. PRESSURE/LEAKAGE TESTING PER AWWA-C-601 AND DISINFECTION PER AWWA-C-651.
8. ALL CONSTRUCTION STAKING IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COMPLETED BY A LICENSED SURVEYOR.
9. 6" PVC PIPE SHALL CONFORM TO AWWA C900 - CLASS 200 PIPE. 2" PVC PIPE SHALL BE SCH 40.
10. ALL FITTINGS AND VALVES FOR 6" WATER LINE SHALL BE RESTRAINED WITH MIDCORE RESTRAINTS OR EQUAL.
11. ALL ELEVATIONS SHOWN ARE BASED ON US & GS ELEVATIONS, 1983 DATUM.
12. THE TOWN OF WEST SILOAM SPRINGS SHALL BE NOTIFIED 24 HOURS PRIOR TO TAPPING EXISTING LINES AND TESTING & DISINFECTION OF THE NEW WATER LINES. CONTACT HENRY WARD.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE HE MAY INFLICT TO THE EXISTING UNDERGROUND UTILITIES WITHIN THE PROJECT AREA AS A RESULT OF HIS DIGGING, TRENCHING, BORING, ETC..
14. THE CONTRACTOR SHALL NOTIFY THE TOWN OF WEST SILOAM SPRINGS PRIOR TO STARTING OF CONSTRUCTION. THE TOWN OF WEST SILOAM SPRINGS WILL OPERATE ALL VALVES.
15. CONTRACTOR'S ATTENTION IS REQUIRED FOR THE PROTECTION AND RESTORATION OF THE PROPERTY AND LANDSCAPE ALONG THE LENGTH OF THE PROJECT AND SHALL RESTORE THE PROPERTY TO ITS NORMAL POSITION AFTER THE COMPLETION OF THE PROJECT.
16. THE CONTRACTOR SHALL FURNISH THE TOWN OF WEST SILOAM SPRINGS A ONE (1) YEAR MAINTENANCE BOND UPON COMPLETION.
17. ITEMS INCLUDED IN THIS CONTRACT BUT NOT INCLUDED IN THE PROPOSAL ARE TO BE CONSIDERED INCIDENTAL AND INCLUDED IN THE COST OF ITEMS FOR WHICH THEY ARE A COMPONENT PART.
18. WATER STANDARDS HAVE BEEN PROVIDED WITH THIS SET OF PLANS.

SUMMARY OF QUANTITIES

PAY QUANTITIES			
ITEM NO.	DESCRIPTION	UNIT	QUANTITY
1	EXCAVATION AND BACKFILL	C.Y.	700
2	2" PVC SCH 40 (SERVICE LINES) W/ 4" CONDUITS	L.F.	264
3	6" AWWA C900 - CLASS 200	L.F.	1,260
4	6"x6"x2" TEE	EA.	6
5	6"x6"x6" TEE	EA.	4
6	2" GATE VALVES	EA.	6
7	6" GATE VALVES	EA.	5
8	6" 90° BEND	EA.	1
9	6" 45° BENDS	EA.	2
10	6" 22 1/2" BENDS	EA.	9
11	2" WYE CONNECTIONS	EA.	6
12	VALVE BOXES	EA.	13
13	3 WAY FIRE HYDRANT	EA.	4
14	FIRE HYDRANT EXTENSION	V.F.	10
15	6" TAPPING SLEEVE & VALVE	EA.	2
16	3/4" METERS, METERS CAN AND APPURTENANCES	EA.	30
17	FROST FREE HYDRANT (W/ 3/4" SERVICE LINE)	L.S.	1

NOTES:
 ALL ITEMS SHALL INCLUDE COST FOR EXCAVATION, BACKFILL MATERIAL, TYPE "A" AGGREGATE BASE UNDER ROADWAYS, BACKFILLING AND COMPACTION AND ALL OTHER ITEMS NEEDED FOR A COMPLETE INSTALLATION.
 ALL BENDS, TEES & CROSSES SHALL HAVE MIDCORE OR MEGALUG RESTRAINTS.
 COST FOR FROST FREE HYDRANT SHALL INCLUDE 3/4" WATER LINE, METER CAN WITH 3/4" GATE VALVE. ANY, ALL OTHER ITEMS FOR A COMPLETE INSTALLATION.

LEGEND

- - - 1139 - - - EXISTING CONTOURS
- - - 1140 - - - PROPOSED CONTOURS
- 6" — NEW 6" WATER LINE (PVC C-900 CLASS 200)
- 2" — NEW 2" WATER SERVICE LINES
- NEW WATER VALVE
- NEW 3 WAY FIRE HYDRANT

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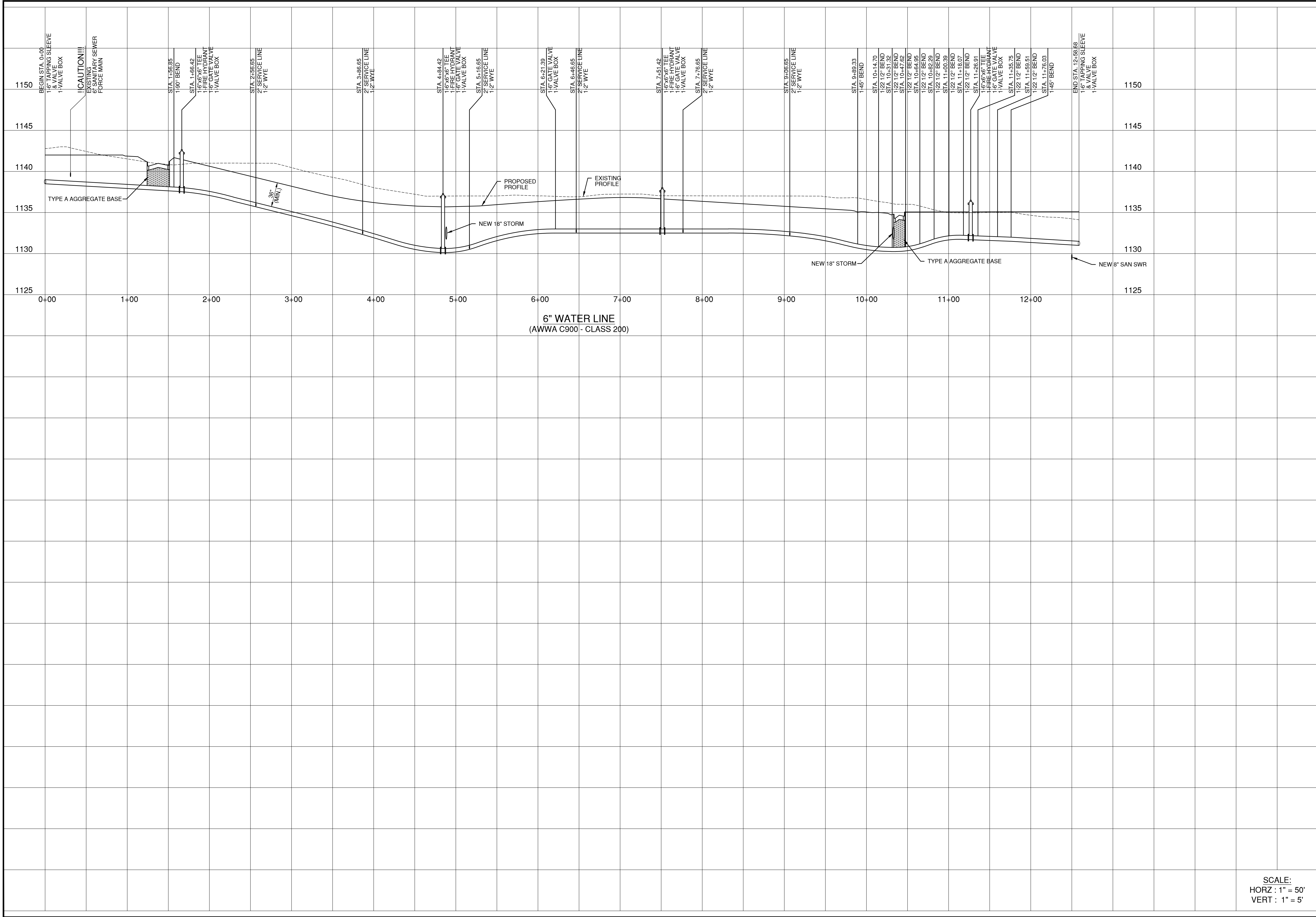
WEST SILOAM SPRINGS ESTATES
WATER LINE PLAN

FIELD SURVEY: DATE LAST SITE VISIT:
 DRAWN BY: DATE PREPARED:
 10/15/14

LEGEND

- BM = Benchmark
- EM = Electric Meter
- EP = Power Pole
- GR = Gas Line
- TP = Telephone Pedestal
- WH = Water Hydrant
- WM = Water Meter
- LP = Light Pole
- CA = Guy Anchor
- C&C = CURB & GUTTER

NO.	REVISION	DATE	BY
6 OF 19			
SHEET NO.			



6" WATER LINE
(AWWA C900 - CLASS 200)

WEST SILOAM SPRINGS ESTATES

WATER LINE PROFILE

FIELD SURVEY: _____ DATE LAST SITE VISIT: _____

DRAWN BY: _____ DATE PREPARED: 10/15/14

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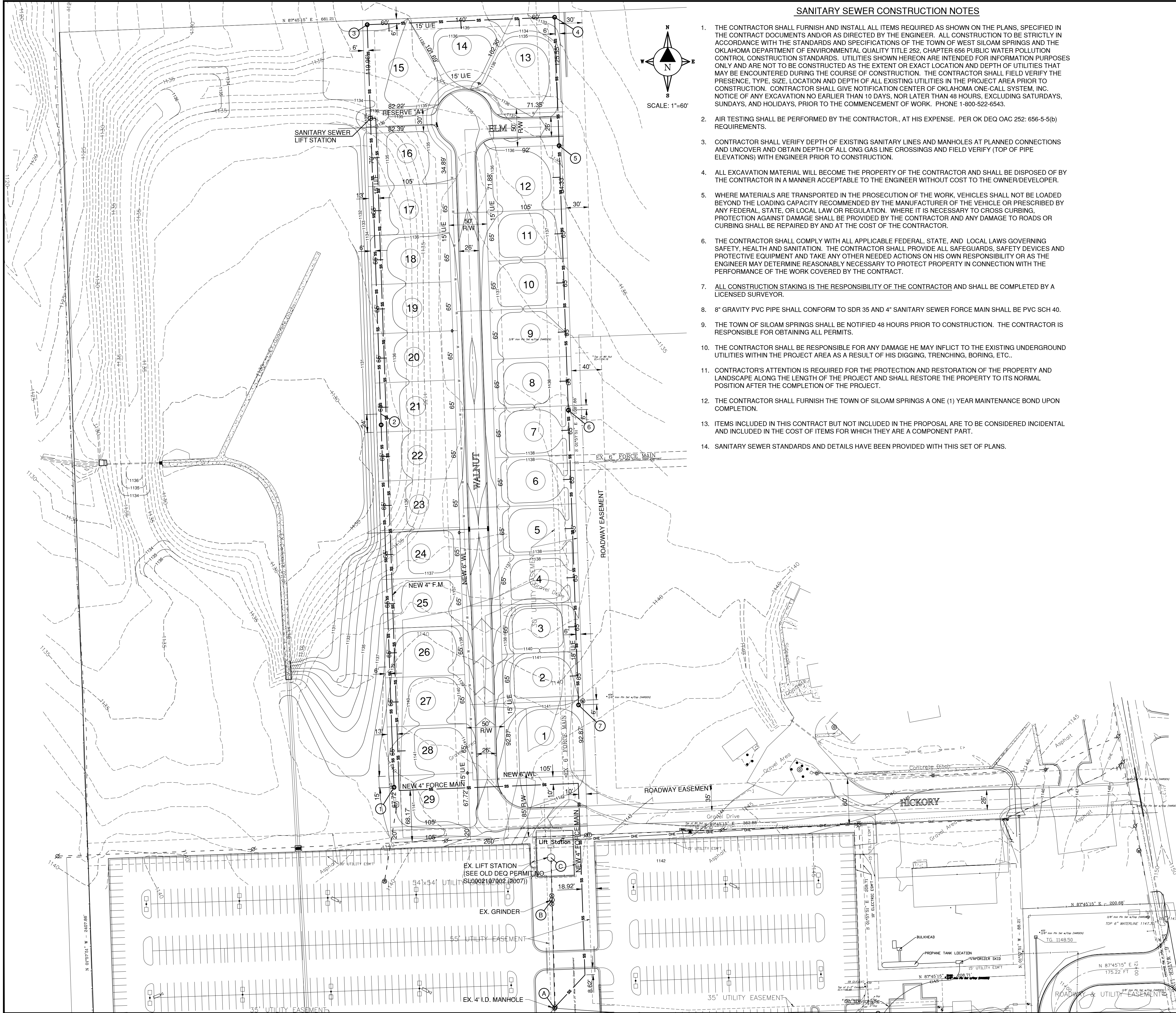
LEGEND

○	Cor. Pk	Benchmark	BM	=	Benchmark
□	Original Stone Pk	Electric Meter	EM	=	Electric Meter
△	Control Point	Power Pole	PP	=	Power Pole
—	Overhead Electric	Telephone Pedestal	TP	=	Telephone Pedestal
—	Water Line	Fire Hydrant	FH	=	Fire Hydrant
—	Gas Line	Water Meter	WM	=	Water Meter
—	Centerline	Light Pole	LP	=	Light Pole
—	Lat and Black Line	Cul Anchor	CA	=	Cul Anchor
—	Fiber Optic Cable	Curb & Gutter	C&G	=	Curb & Gutter
—	Bored Electric				

NO.	REVISION	DATE	BY

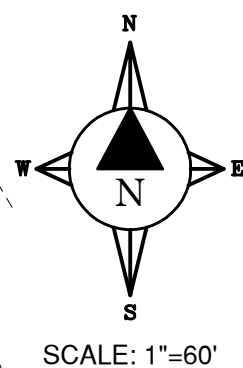
SCALE:
HORIZ : 1" = 50'
VERT : 1" = 5'

7 OF 19
SHEET NO.



SANITARY SEWER CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED AS SHOWN ON THE PLANS, SPECIFIED IN THE CONTRACT DOCUMENTS AND/OR AS DIRECTED BY THE ENGINEER. ALL CONSTRUCTION TO BE STRICTLY IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF WEST SILOAM SPRINGS AND THE OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY TITLE 252, CHAPTER 656 PUBLIC WATER POLLUTION CONTROL CONSTRUCTION STANDARDS. UTILITIES SHOWN HEREON ARE INTENDED FOR INFORMATION PURPOSES ONLY AND ARE NOT TO BE CONSTRUCTED AS THE EXTENT OR EXACT LOCATION AND DEPTH OF UTILITIES THAT MAY BE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL FIELD VERIFY THE PRESENCE, TYPE, SIZE, LOCATION AND DEPTH OF ALL EXISTING UTILITIES IN THE PROJECT AREA PRIOR TO CONSTRUCTION. CONTRACTOR SHALL GIVE NOTIFICATION CENTER OF OKLAHOMA ONE-CALL SYSTEM, INC. NOTICE OF ANY EXCAVATION NO EARLIER THAN 10 DAYS, NOR LATER THAN 48 HOURS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, PRIOR TO THE COMMENCEMENT OF WORK. PHONE 1-800-522-6543.
2. AIR TESTING SHALL BE PERFORMED BY THE CONTRACTOR, AT HIS EXPENSE. PER OK DEQ OAC 252: 656-5-5(b) REQUIREMENTS.
3. CONTRACTOR SHALL VERIFY DEPTH OF EXISTING SANITARY LINES AND MANHOLES AT PLANNED CONNECTIONS AND UNCOVER AND OBTAIN DEPTH OF ALL ONG GAS LINE CROSSINGS AND FIELD VERIFY (TOP OF PIPE ELEVATIONS) WITH ENGINEER PRIOR TO CONSTRUCTION.
4. ALL EXCAVATION MATERIAL WILL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE ENGINEER WITHOUT COST TO THE OWNER/DEVELOPER.
5. WHERE MATERIALS ARE TRANSPORTED IN THE PROSECUTION OF THE WORK, VEHICLES SHALL NOT BE LOADED BEYOND THE LOADING CAPACITY RECOMMENDED BY THE MANUFACTURER OF THE VEHICLE OR PRESCRIBED BY ANY FEDERAL, STATE, OR LOCAL LAW OR REGULATION. WHERE IT IS NECESSARY TO CROSS CURBING, PROTECTION AGAINST DAMAGE SHALL BE PROVIDED BY THE CONTRACTOR AND ANY DAMAGE TO ROADS OR CURBING SHALL BE REPAIRED BY AND AT THE COST OF THE CONTRACTOR.
6. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS GOVERNING SAFETY, HEALTH AND SANITATION. THE CONTRACTOR SHALL PROVIDE ALL SAFEGUARDS, SAFETY DEVICES AND PROTECTIVE EQUIPMENT AND TAKE ANY OTHER NEEDED ACTIONS ON HIS OWN RESPONSIBILITY OR AS THE ENGINEER MAY DETERMINE REASONABLY NECESSARY TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF THE WORK COVERED BY THE CONTRACT.
7. ALL CONSTRUCTION STAKING IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COMPLETED BY A LICENSED SURVEYOR.
8. 8" GRAVITY PVC PIPE SHALL CONFORM TO SDR 35 AND 4" SANITARY SEWER FORCE MAIN SHALL BE PVC SCH 40.
9. THE TOWN OF SILOAM SPRINGS SHALL BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE HE MAY INFLICT TO THE EXISTING UNDERGROUND UTILITIES WITHIN THE PROJECT AREA AS A RESULT OF HIS DIGGING, TRENCHING, BORING, ETC..
11. CONTRACTOR'S ATTENTION IS REQUIRED FOR THE PROTECTION AND RESTORATION OF THE PROPERTY AND LANDSCAPE ALONG THE LENGTH OF THE PROJECT AND SHALL RESTORE THE PROPERTY TO ITS NORMAL POSITION AFTER THE COMPLETION OF THE PROJECT.
12. THE CONTRACTOR SHALL FURNISH THE TOWN OF SILOAM SPRINGS A ONE (1) YEAR MAINTENANCE BOND UPON COMPLETION.
13. ITEMS INCLUDED IN THIS CONTRACT BUT NOT INCLUDED IN THE PROPOSAL ARE TO BE CONSIDERED INCIDENTAL AND INCLUDED IN THE COST OF ITEMS FOR WHICH THEY ARE A COMPONENT PART.
14. SANITARY SEWER STANDARDS AND DETAILS HAVE BEEN PROVIDED WITH THIS SET OF PLANS.



LEGEND

- 1139 --- EXISTING CONTOURS
- 1140 --- PROPOSED CONTOURS
- SS --- NEW SEWER LINES
- NEW 4" I.D. MANHOLE
- NEW LIFT STATION (SEE SHEET 10 FOR DETAILS)

SUMMARY OF QUANTITIES

PAY QUANTITIES				
ITEM NO.	DESCRIPTION	UNIT	QUANTITY	
1	EXCAVATION & BACKFILL	(1) C.Y.	1,200	
2	8" PVC SDR 35	L.F.	2,167	
3	4' ID STD SHALLOW MANHOLE	EA.	3	
4	4' ID STD MANHOLE	(2) EA.	4	
5	LIFT STATION	(3) L.S.	1	
6	4" FORCE MAIN PVC SCH 40	L.F.	1,445	
7	8"x8"x4" TEE WITH RISERS	EA.	29	
8	CONNECTION OF 4" FM TO EX MANHOLE	L.S.	1	

- NOTES:
- (1) BACKFILL QUANTITY INCLUDES TYPE "A" AGGREGATE BASE (FULL DEPTH) AT ALL ROADWAY CROSSINGS (MIN. 32' LONG).
 - (2) COST TO INCLUDE ADDITIONAL DEPTH OVER 6 FEET.
 - (3) SEE SHEET 10 FOR ALL ITEMS TO BE INCLUDED IN LIFT STATION COST.

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WEST SILOAM SPRINGS ESTATES

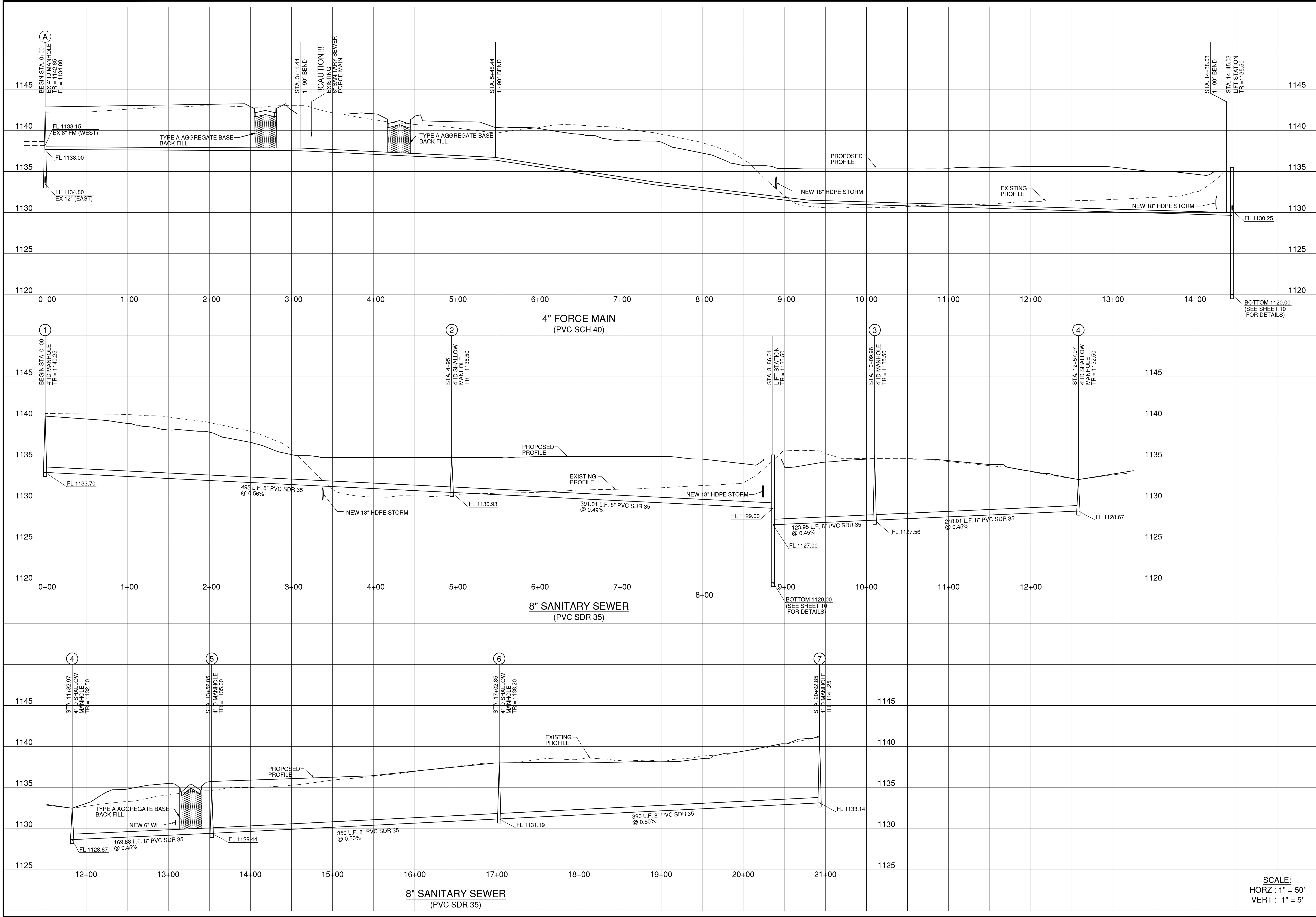
SANITARY SEWER PLAN

FIELD SURVEY:	DATE LAST SITE VISIT:
DRAWN BY:	DATE PREPARED:
	10/15/14

LEGEND

○	Cor. Pk	BM	Benchmark
○	Find	EM	Electric Meter
○	Original Stone	CP	Power Pole
○	Control Point	TP	Telephone Pedestal
○	Overhead Electric	FH	Fire Hydrant
○	Water Line	WM	Water Meter
○	Gas Line	LP	Light Pole
○	Centerline	CA	Cay Anchor
○	Lot and Block Line	CA&	C&E = CURB & GUTTER
○	Fiber Optic Cable		
○	Banded Electric		

NO.	DATE	BY	REVISION
8	OF 19		
			SHEET NO.



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WEST SILOAM SPRINGS ESTATES

SANITARY SEWER PROFILES

FIELD SURVEY:	DATE LAST SITE VISIT:
DRAWN BY:	DATE PREPARED:
	10/15/14

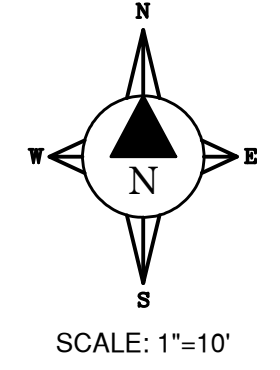
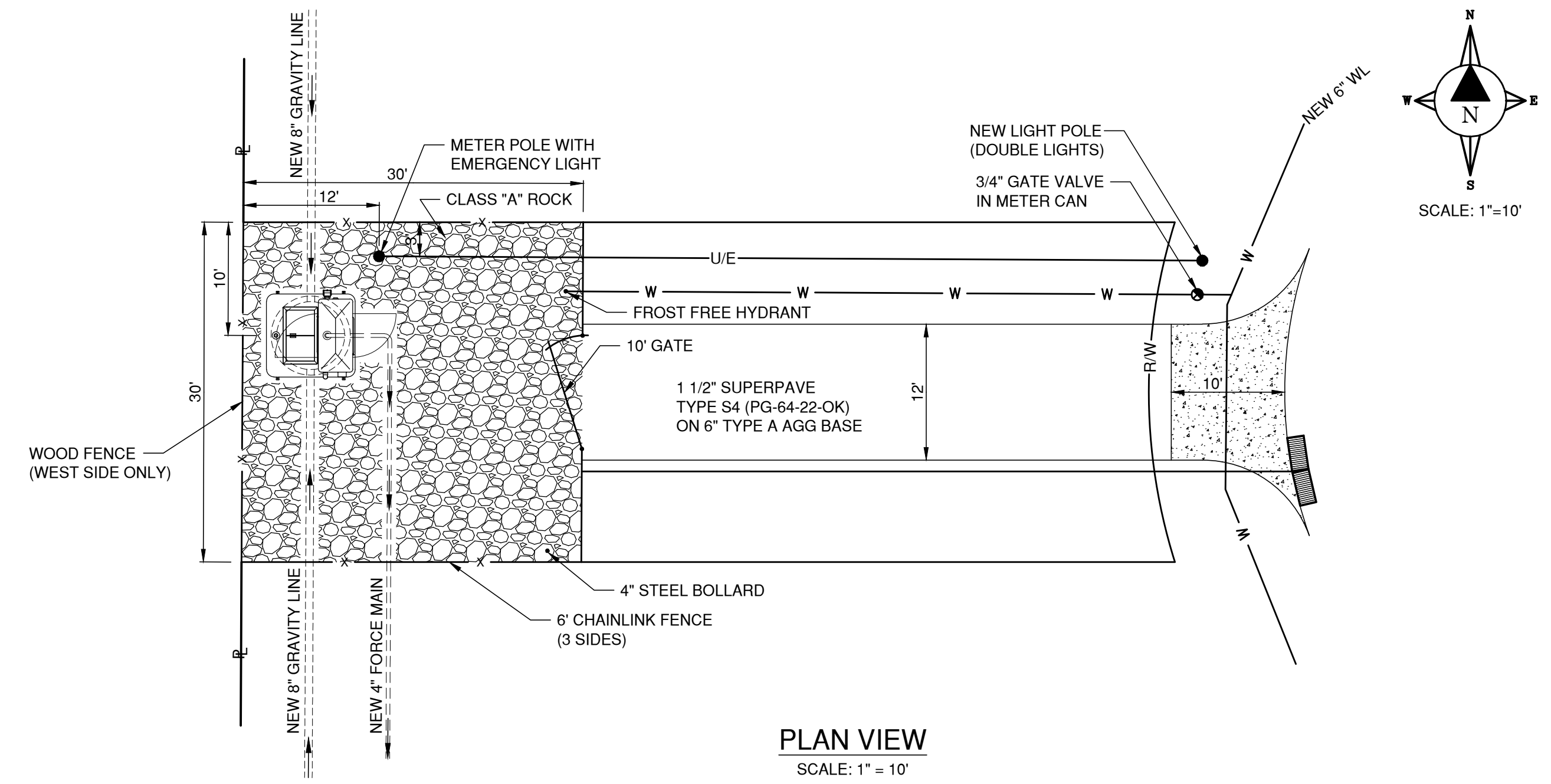
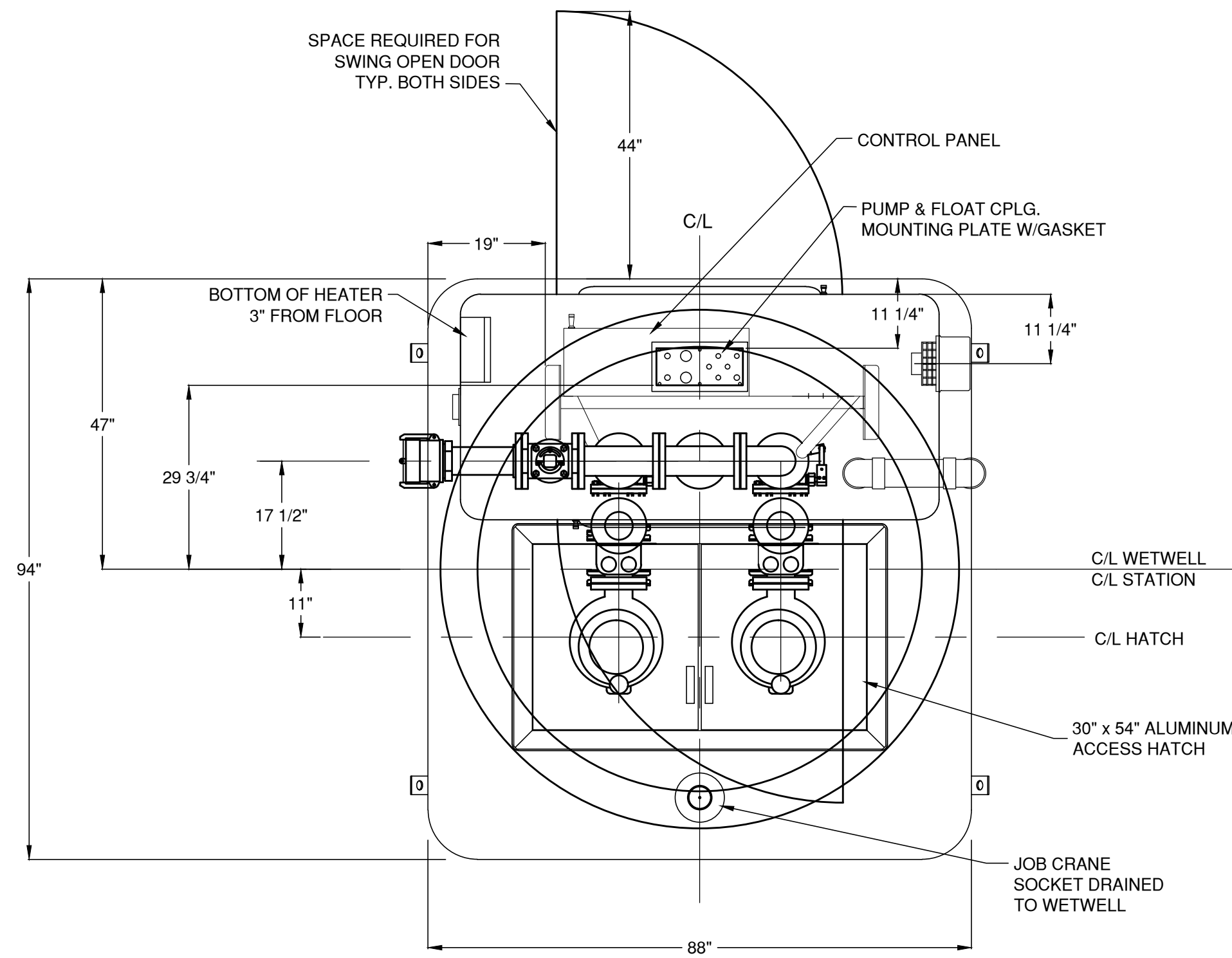
LEGEND

○	Cor. Pk	Benchmark	
□	Original Stone Pk	Electric Meter	
△	Control Point	Power Pole	
▽	Overhead Electric	Telephone Pedestal	
—	Water Line	TP	Telephone
—	Gas Line	FM	Fire Hydrant
—	Centerline	WM	Water Meter
—	Lat and Block Line	LP	Light Pole
—	Fiber Optic Cable	CA	Cuy Anchor
—	Bored Electric	C&G	CURB & GUTTER

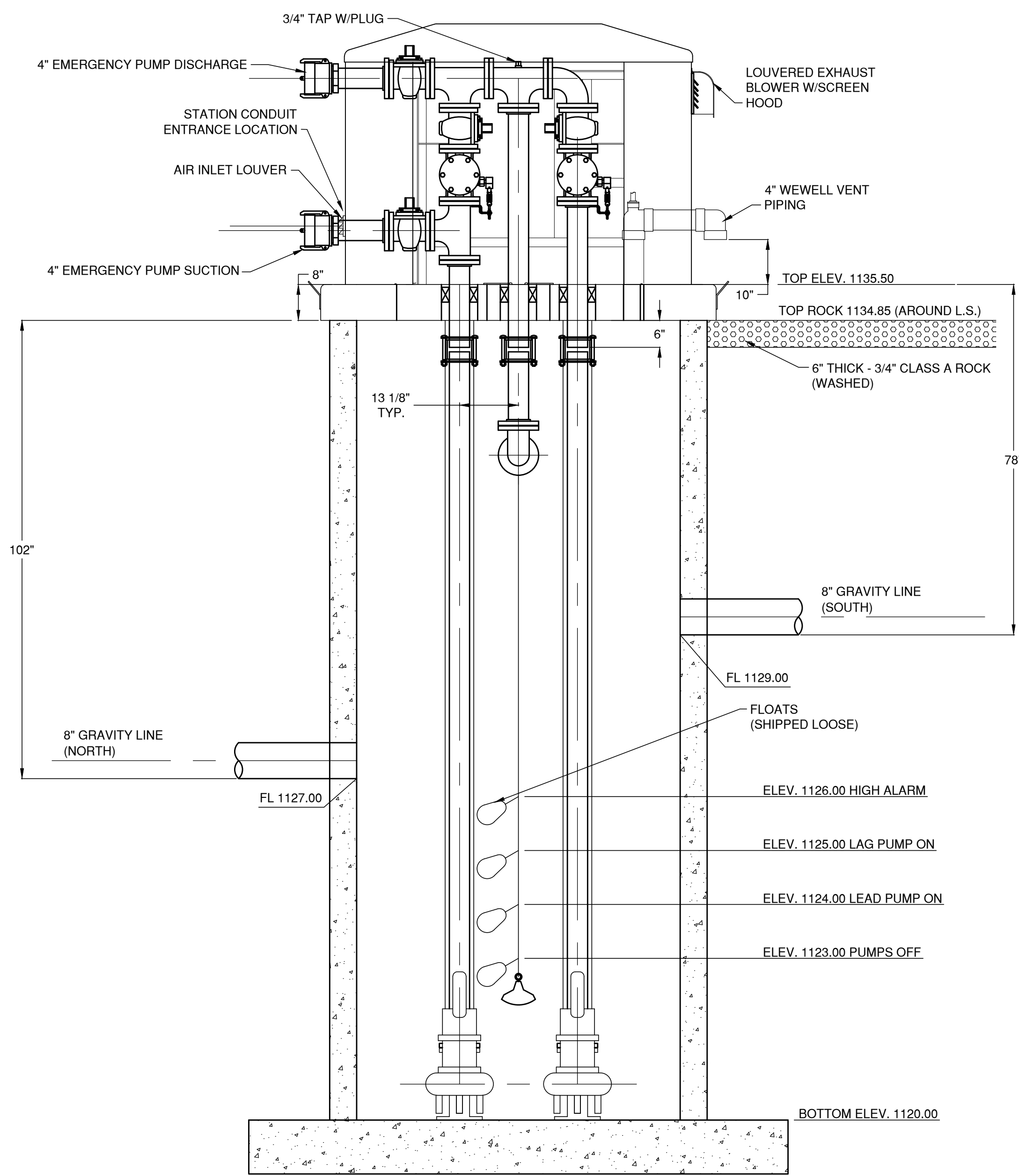
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SCALE:
 HORZ : 1" = 50'
 VERT : 1" = 5'

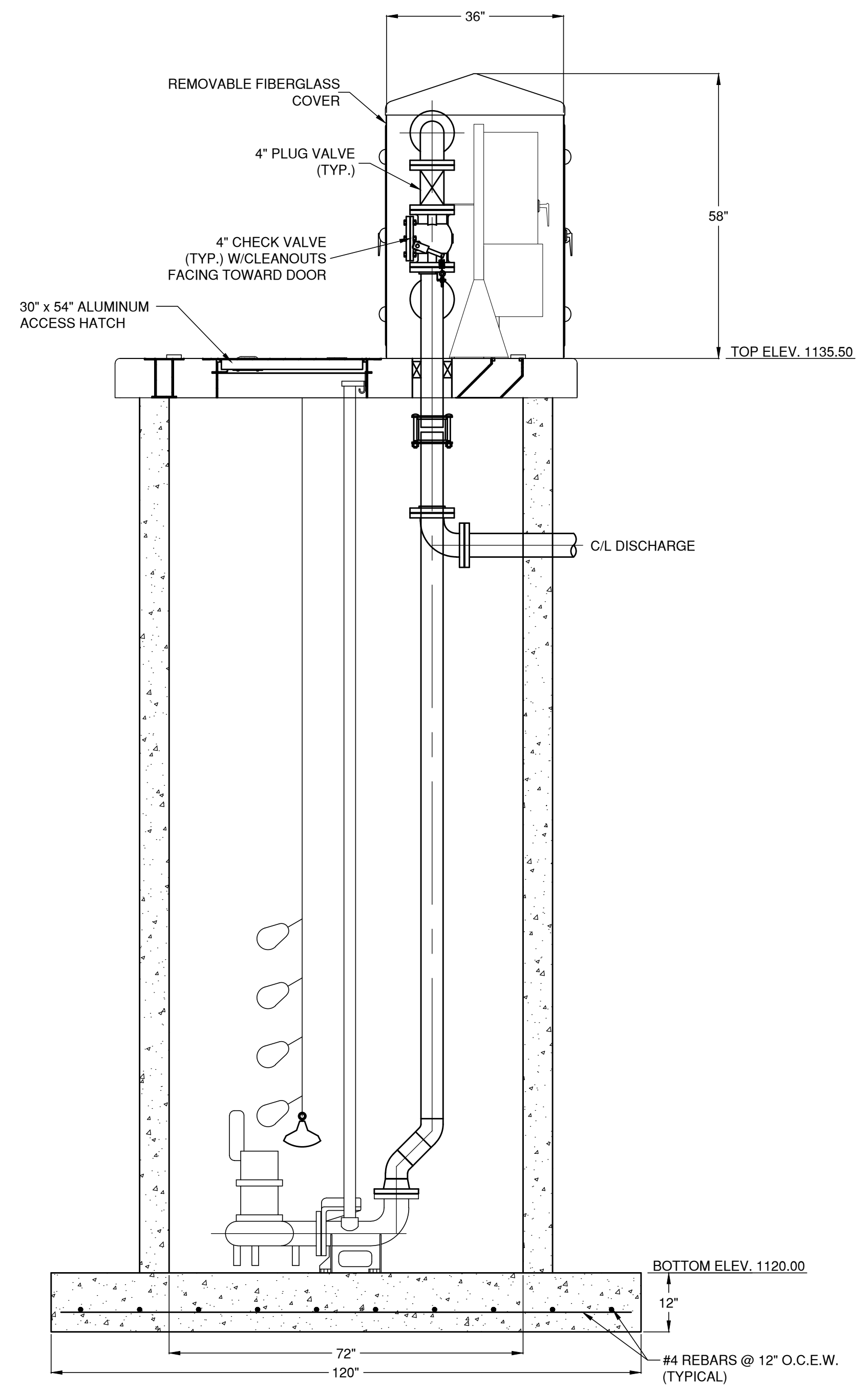
9 OF 19
 SHEET NO.



PLAN VIEW
SCALE: 1" = 10'



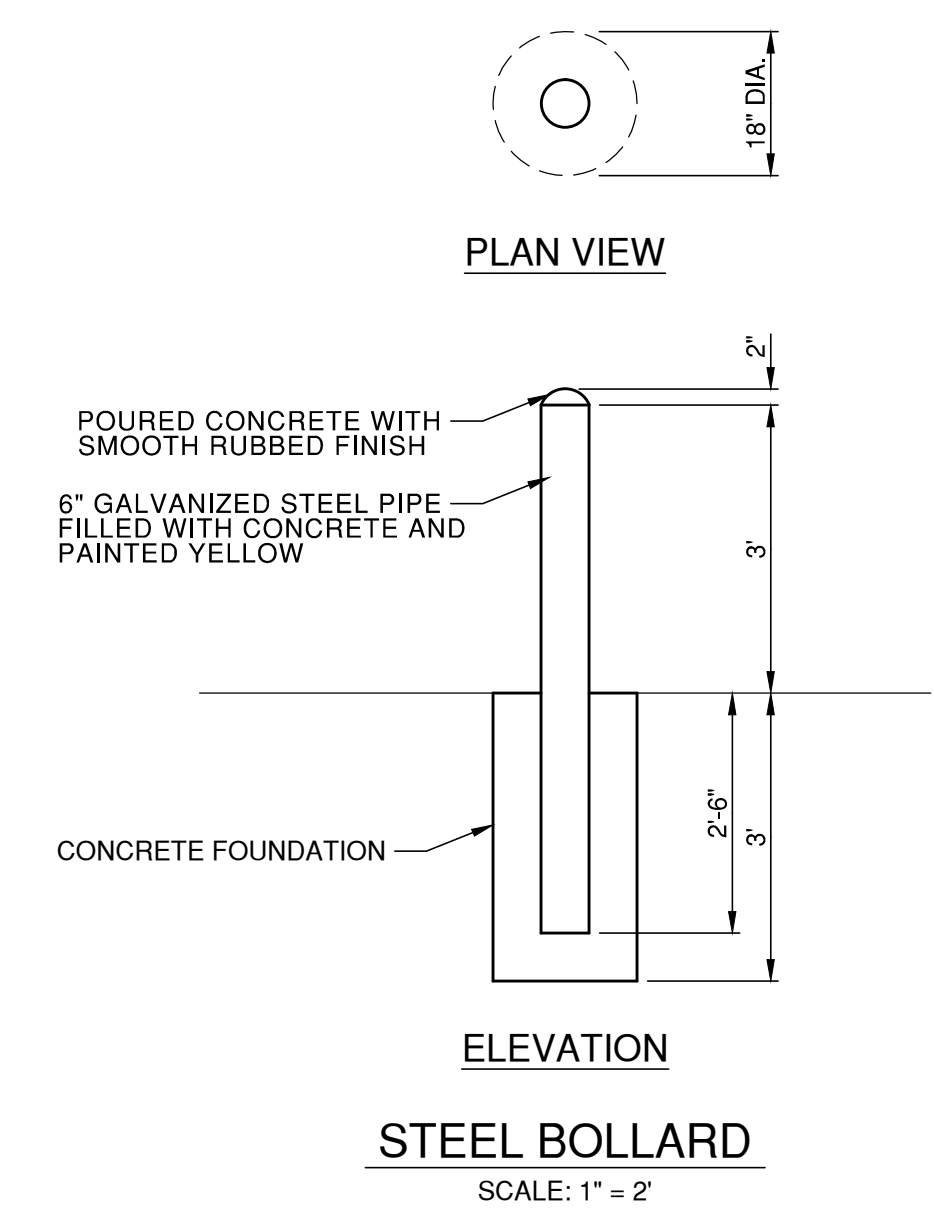
FACING EAST



FACING NORTH

LIFT STATION COST
SHALL INCLUDE ALL ITEMS FROM ROADWAY TO LIFT STATION WHICH SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING ITEMS:

LIFT STATION, ALL PUMPS, CONTROLS, WIRING, ELECTRICAL, PORTABLE GENERATOR, 6\"/>



ELEVATION
STEEL BOLLARD
SCALE: 1" = 2'

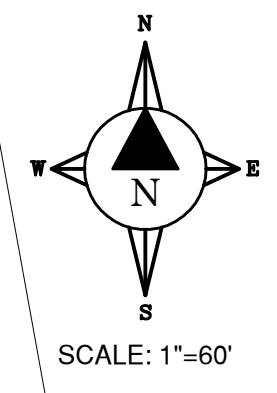
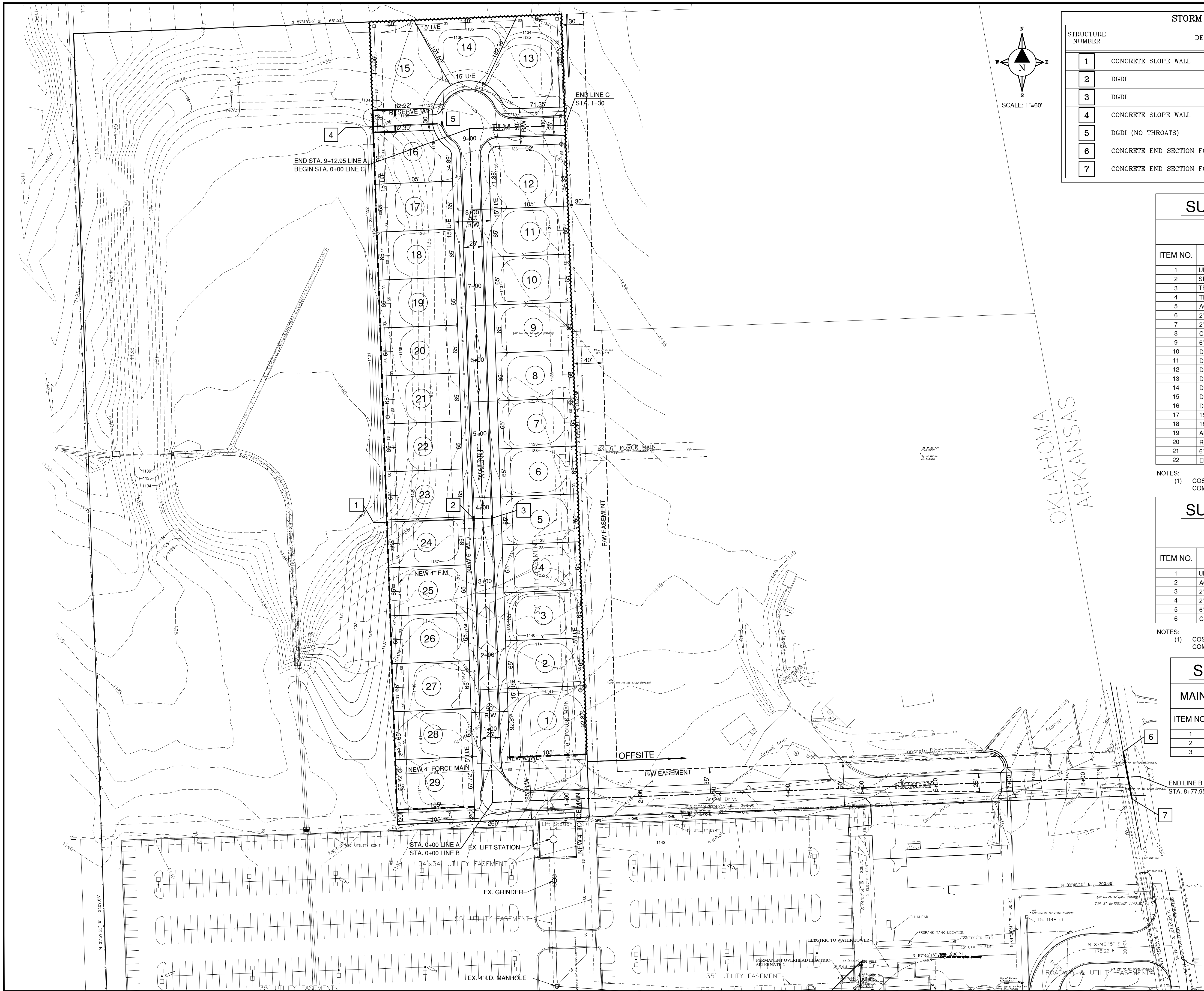
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WEST SILOAM SPRINGS ESTATES	
LIFT STATION DETAILS	
FIELD SURVEY:	DATE LAST SITE VISIT:
DRAWN BY:	DATE PREPARED:
	10/15/14

LEGEND

○	Cor. Find	BM	Benchmark
○	Original Stone	EM	Electric Meter
△	Control Point	EP	Electric Pole
—	Overhead Electric	TP	Telephone Pedestal
—	Water Line	FM	Fire Hydrant
—	Gas Line	WM	Water Meter
—	Centerline	LP	Light Pole
—	Telephone	CA	Cay Anchor
—	Lot and Block Line	CA&	Cable & Gutter
—	Fiber Optic Cable		
—	Banded Electric		

NO.	DATE	BY	REVISION



STORM SEWER STRUCTURES			
STRUCTURE NUMBER	DESCRIPTION	COORDINATES	
		NORTHING	EASTING
1	CONCRETE SLOPE WALL	447,854.82	2,980,718.28
2	DGDI	447,860.22	2,980,853.18
3	DGDI	447,861.12	2,980,879.16
4	CONCRETE SLOPE WALL	448,389.72	2,980,680.34
5	DGDI (NO THROATS)	448,394.93	2,980,810.23
6	CONCRETE END SECTION FOR 15" RCP	447,544.65	2,981,733.65
7	CONCRETE END SECTION FOR 15" RCP	447,480.73	2,981,745.44

SUMMARY OF QUANTITIES			
ONSITE PAY QUANTITIES			
ITEM NO.	DESCRIPTION	UNIT	QUANTITY
1	UNCLASSIFIED EXCAVATION (1)	C.Y.	5,350
2	SELECT BORROW	C.Y.	7,000
3	TEMP SILT FENCE	L.F.	4,130
4	TEMP SEDIMENT BASIN	EA.	1
5	AGGREGATE BASE TYPE A	C.Y.	900
6	2" SUPER PAVE S4 PG-64-22	TON	425
7	2" ASPHALTIC CONCRETE S3 PG-64-22	TON	425
8	CLASS A CONCRETE	C.Y.	25
9	6" CONCRETE CURB & GUTTER	L.F.	2,385
10	DRAINAGE STRUCTURE 1	EA.	1
11	DRAINAGE STRUCTURE 2	EA.	1
12	DRAINAGE STRUCTURE 3	EA.	1
13	DRAINAGE STRUCTURE 4	EA.	1
14	DRAINAGE STRUCTURE 5	EA.	1
15	DRAINAGE STRUCTURE 6	EA.	1
16	DRAINAGE STRUCTURE 7	EA.	1
17	15" RCP CLASS III	L.F.	65
18	18" HDPE PIPE	L.F.	200
19	ADJUST WATER METERS/VALVES TO GRADE	EA.	3
20	REMOVAL OF EXISTING UTILITIES LOT 29	L.S.	1
21	6" WOOD FENCE	L.F.	1,260
22	ELECTRICAL 4" CONDUIT	L.F.	2,000

NOTES:
 (1) COST INCLUDES TOP SOIL REMOVAL & REPLACEMENT, FINE GRADING & COMPACTION.

SUMMARY OF QUANTITIES			
OFFSITE PAY QUANTITIES			
ITEM NO.	DESCRIPTION	UNIT	QUANTITY
1	UNCLASSIFIED EXCAVATION (1)	C.Y.	650
2	AGGREGATE BASE TYPE A	C.Y.	300
3	2" SUPER PAVE S4 PG-64-22	TON	150
4	2" ASPHALTIC CONCRETE S3 PG-64-22	TON	150
5	6" REINFORCED CONC PAVEMENT FLUME	L.S.	1
6	CLASS A CONCRETE	C.Y.	25

NOTES:
 (1) COST INCLUDES TOP SOIL REMOVAL & REPLACEMENT, FINE GRADING & COMPACTION.

SUMMARY OF QUANTITIES			
MAINTENANCE BUILDING PAY QUANTITIES			
ITEM NO.	DESCRIPTION	UNIT	QUANTITY
1	AGGREGATE BASE TYPE A	C.Y.	600
2	2" SUPER PAVE S4 PG-64-22	TON	200
3	2" ASPHALTIC CONCRETE S3 PG-64-22	TON	200

NO.	REVISION	DATE	BY

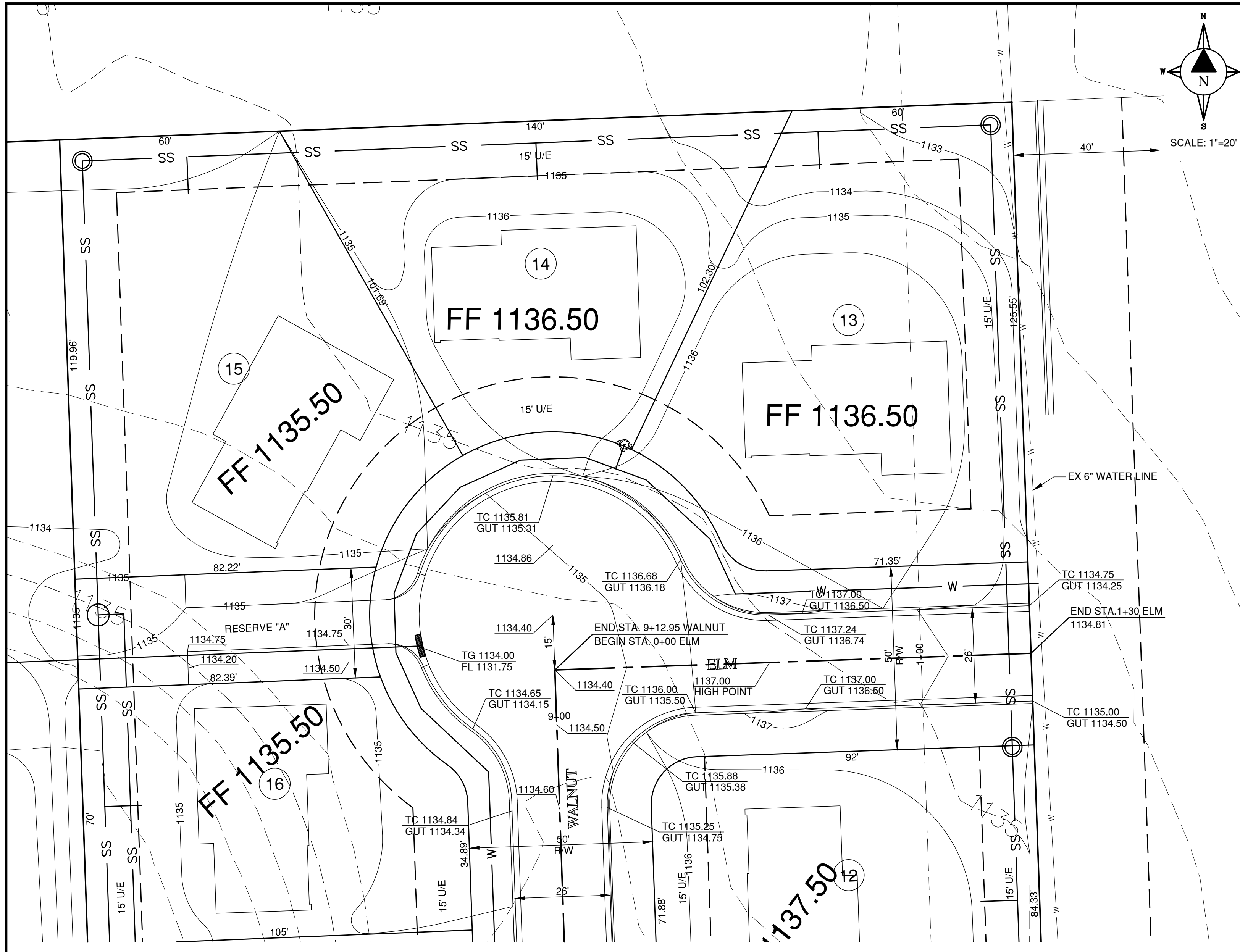
LEGEND	
---11.34---	EXISTING CONTOURS
—1140—	PROPOSED CONTOURS
—6" CHAIN LINK FENCE	
—6" PRIVACY FENCE	
—5" CHAIN LINK FENCE	

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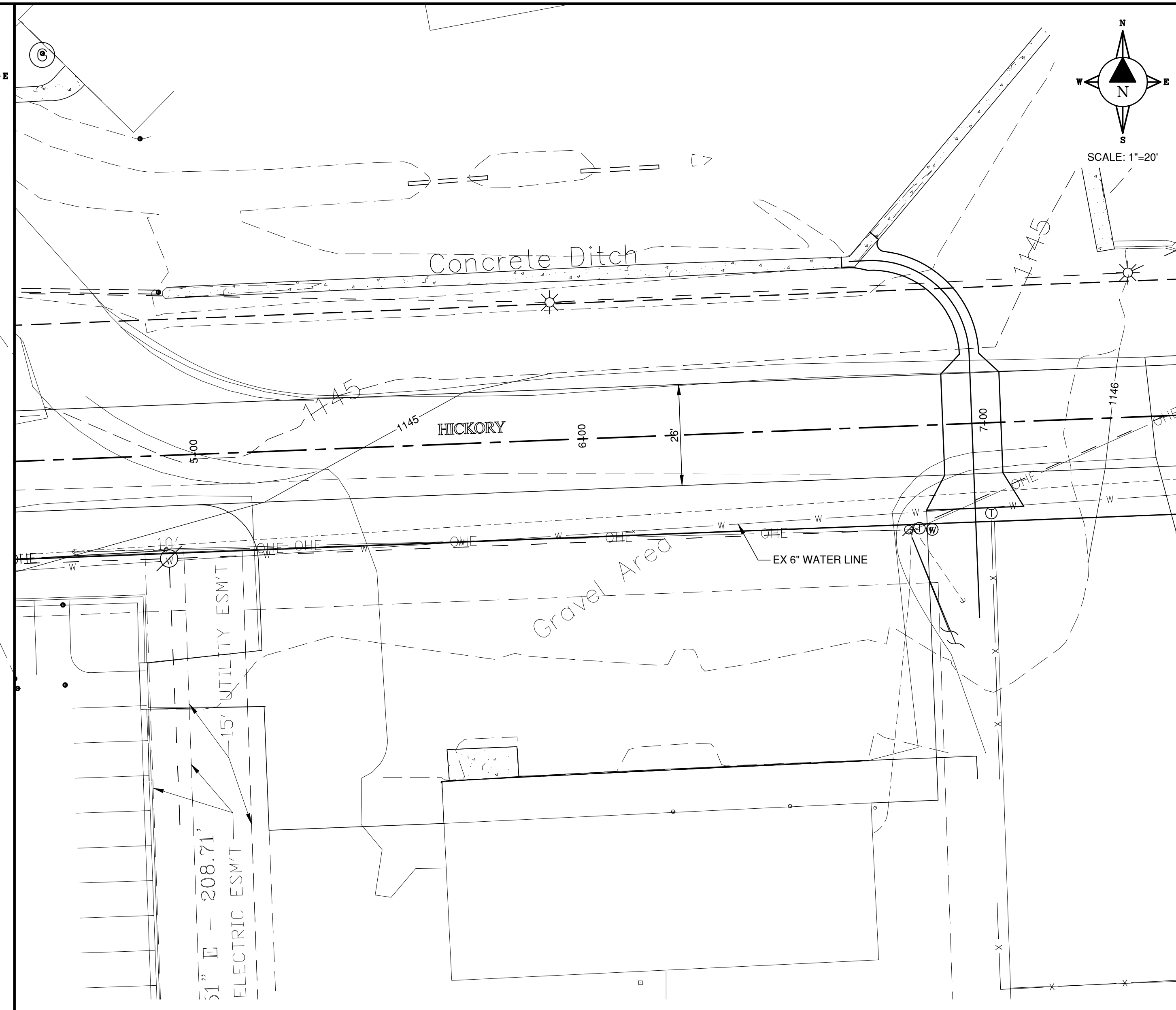
WEST SILOAM SPRINGS ESTATES
PAVING PLAN

FIELD SURVEY: DATE LAST SITE VISIT:
 DRAWN BY: DATE PREPARED:

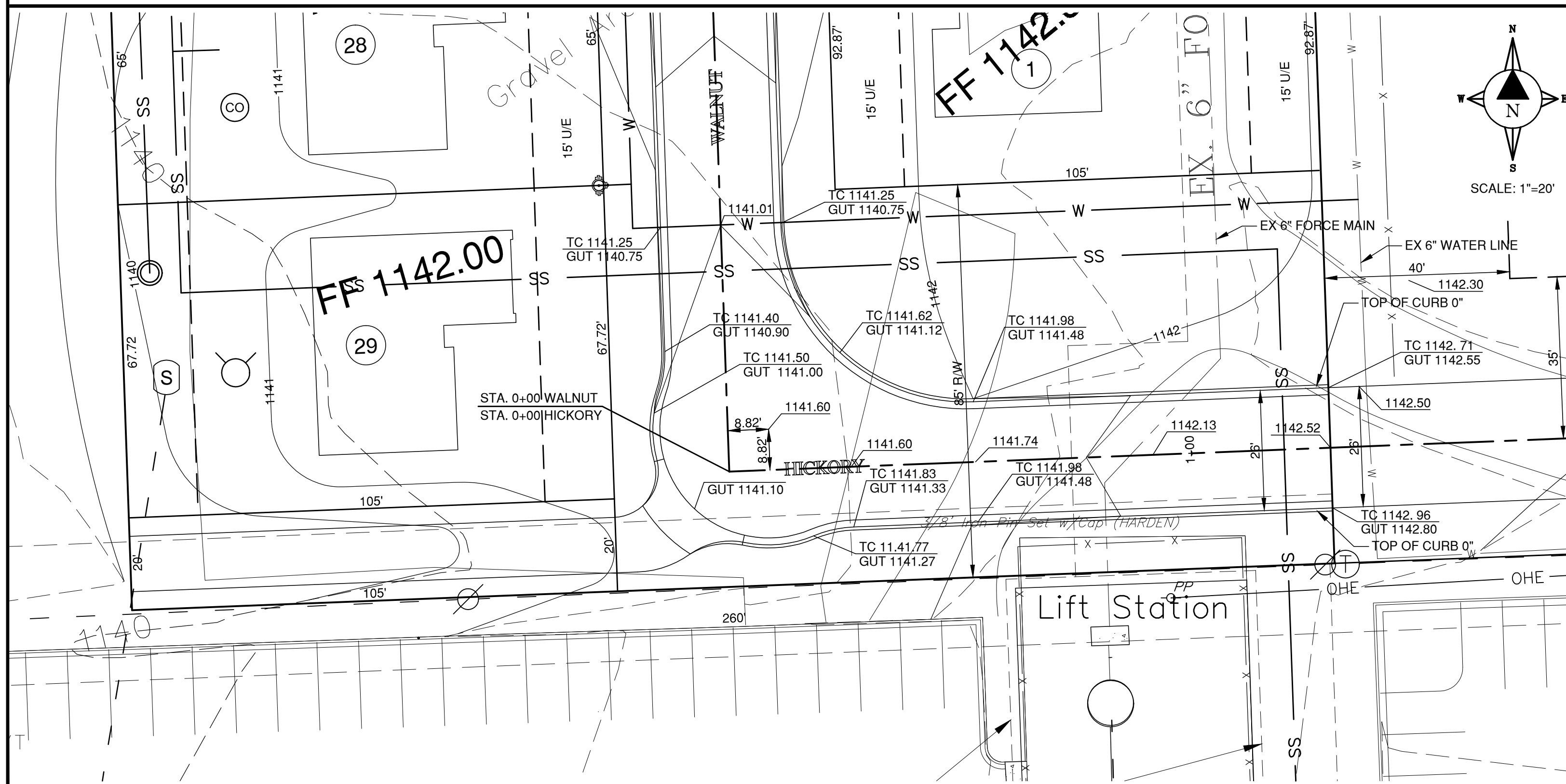
11 OF 19 SHEET NO.



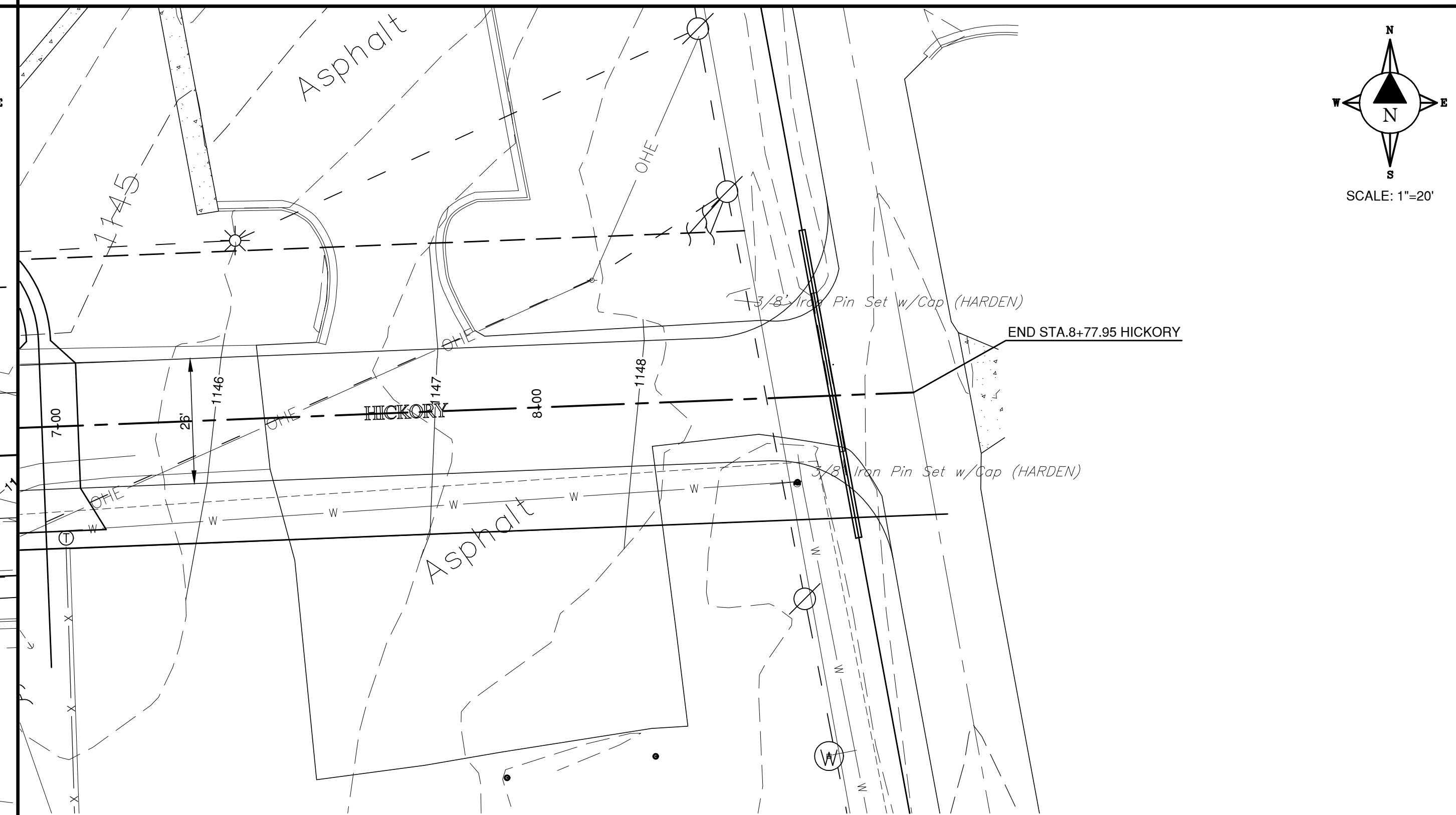
INTERSECTION - WALNUT & ELM



HICKORY



INTERSECTION - WALNUT & HICKORY



ENTRANCE - HICKORY

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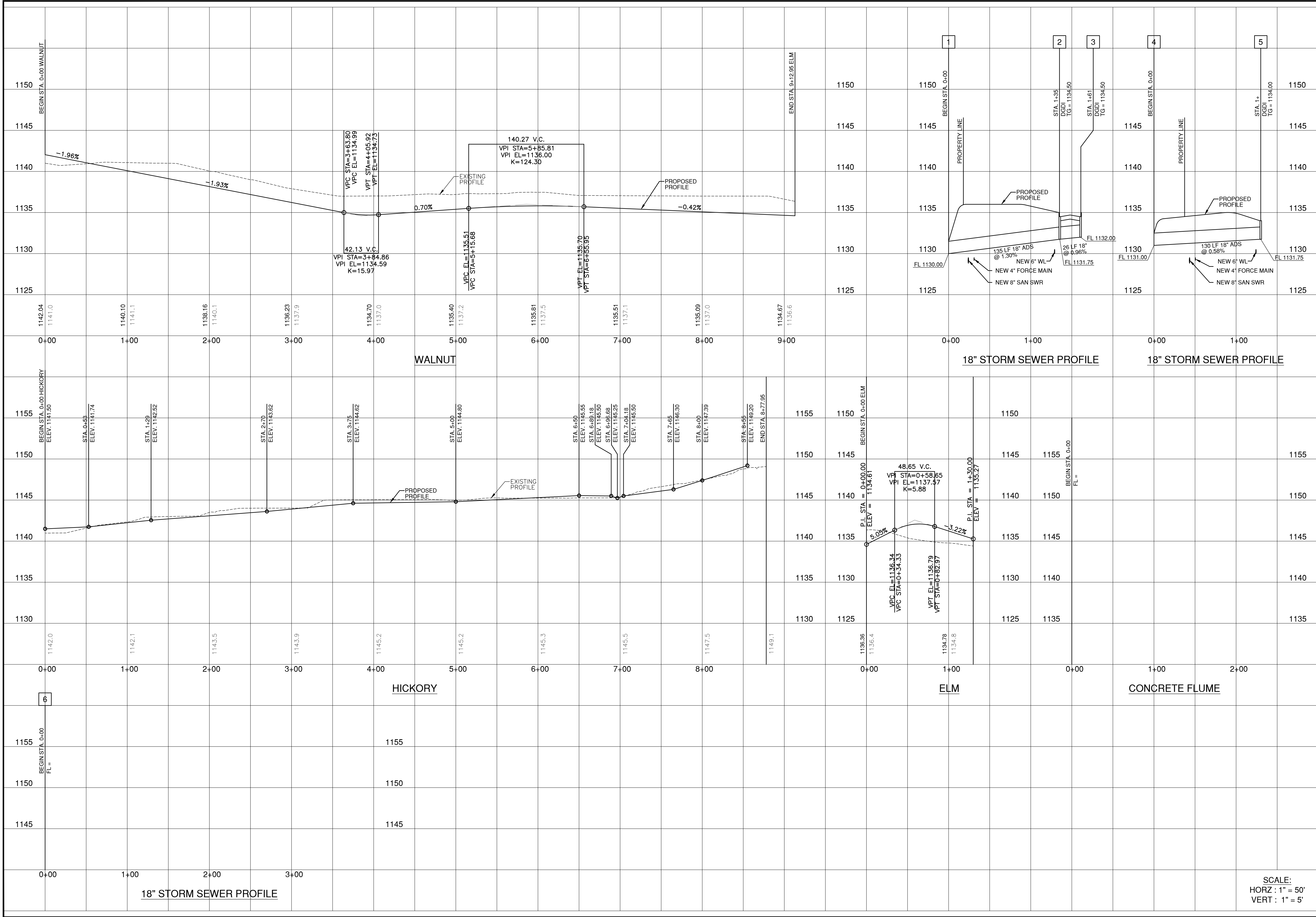
WEST SILOAM SPRINGS ESTATES
PAVING PLAN BLOWUPS

FIELD SURVEY: DATE LAST SITE VISIT:
 DRAWN BY: DATE PREPARED:
 10/15/14

LEGEND

O = Core Find
 □ = Original Stone Find
 △ = Control Point
 E = Overhead Electric
 W = Water Line
 G = Gas Line
 BT = Centrifuge
 --- = Lat and Block Line
 --- = Fiber Optic Cable
 --- = Buried Electric
 BM = Benchmark
 EM = Electric Meter
 CP = Power Pole
 TP = Telephone Pedestal
 FH = Fire Hydrant
 WM = Water Meter
 LP = Light Pole
 CA = Guy Anchor
 C&C = CURB & GUTTER

NO.	REVISION	DATE	BY



WEST SILOAM SPRINGS ESTATES

PAVING & STORM PROFILES

FIELD SURVEY: _____ DATE LAST SITE VISIT: _____

DRAWN BY: _____ DATE PREPARED: 10/15/14

LEGEND

- = Cor. Find
- = Original Stone Find
- △ = Control Point
- ▽ = Overhead Electric
- = Water Line
- = Gas Line
- = Centerline
- = Lot and Block Line
- = Fiber Optic Cable
- = Buried Electric
- BM = Benchmark
- EM = Electric Meter
- CP = Power Pole
- TP = Telephone Pedestal
- WM = Water Meter
- FM = Fire Hydrant
- LP = Light Pole
- CA = Guy Anchor
- C&G = CURB & GUTTER

SCALE:
 HORZ : 1" = 50'
 VERT : 1" = 5'

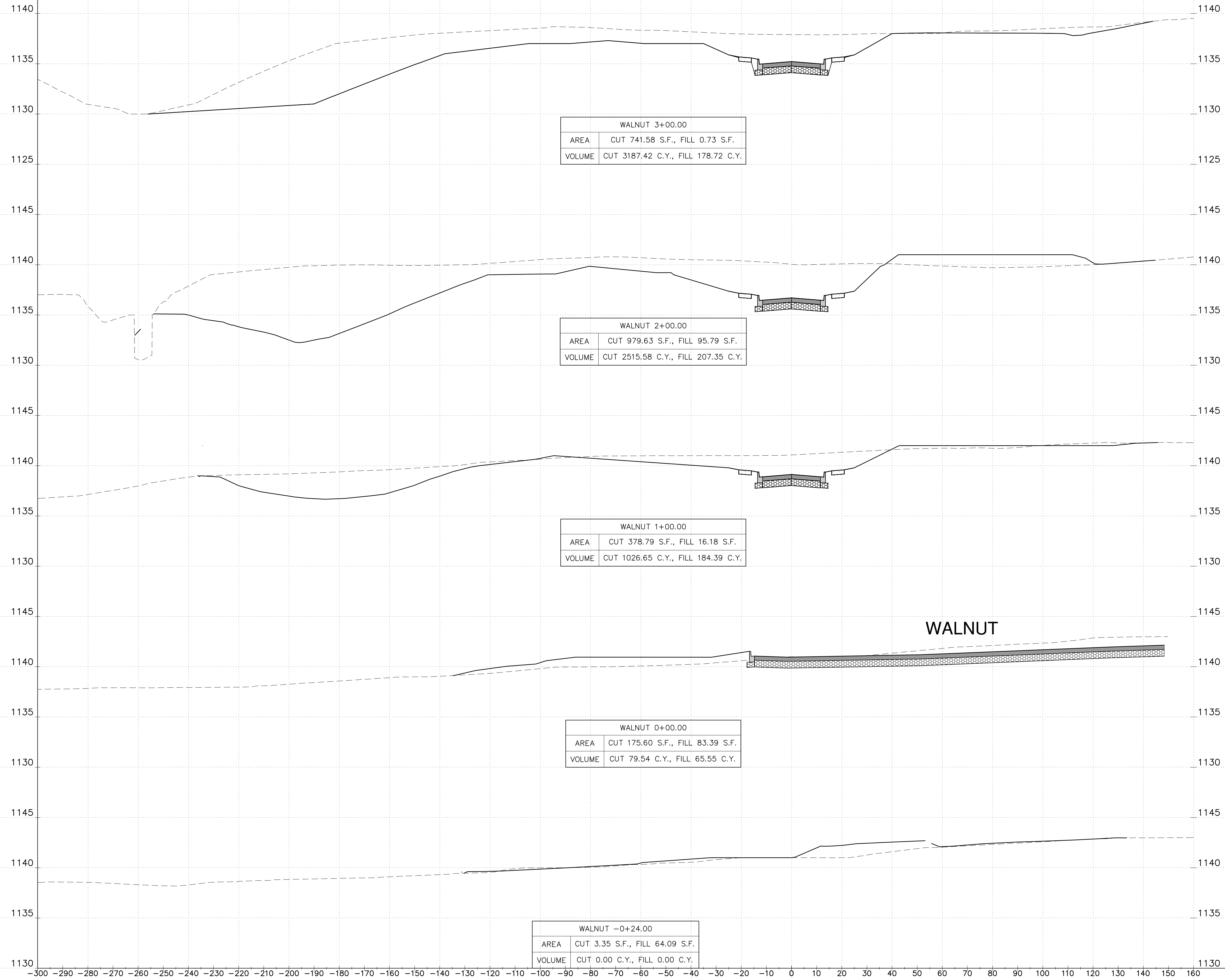
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SHEET NO.

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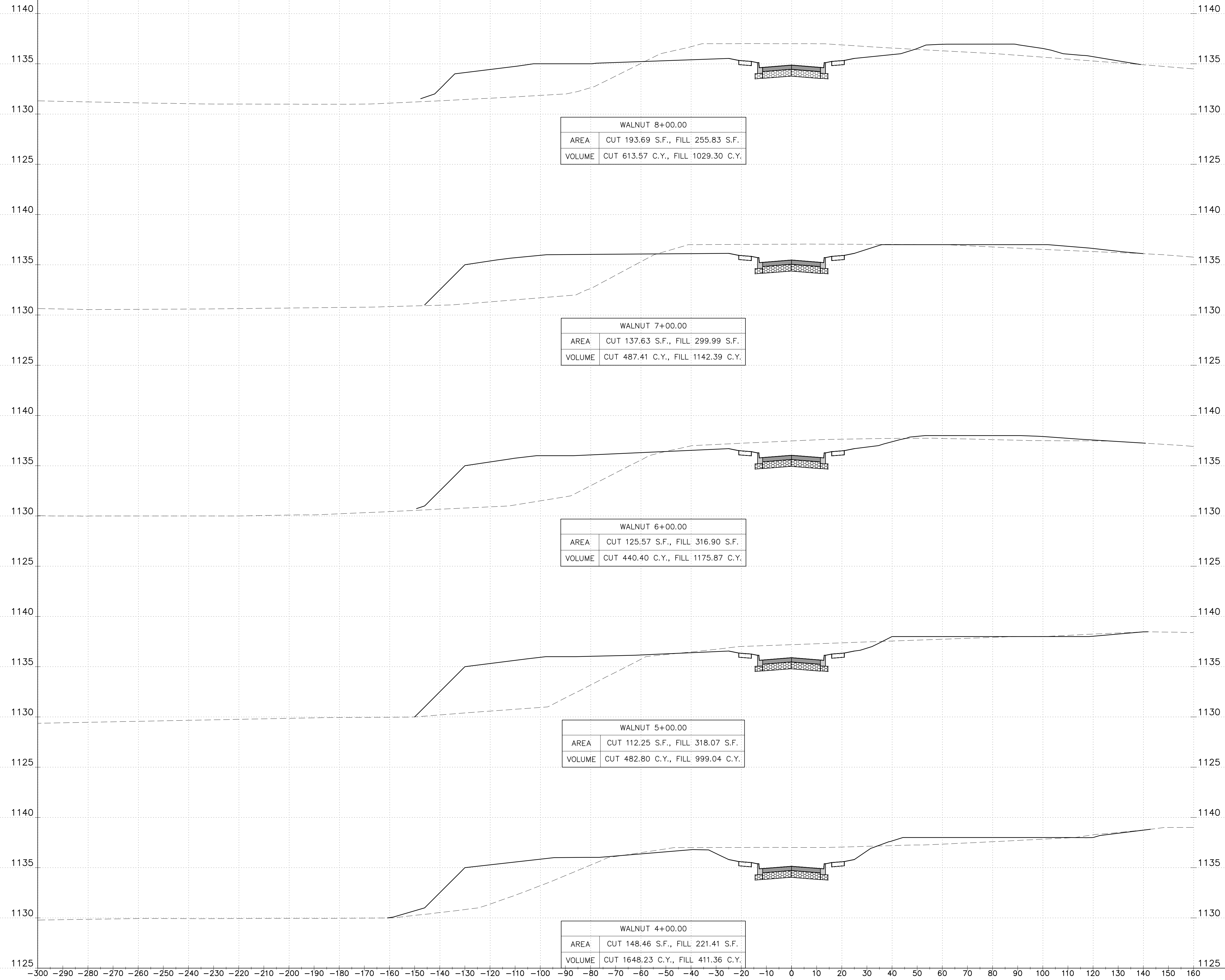


LEGEND

○	Control Point	■	Benchmark
□	Corner	■	Electric Meter
△	Control Point	■	Power Pole
○	Overhead Electric	■	Telephone Pedestal
○	Water Line	■	Fire Hydrant
○	Gas Line	■	Water Meter
○	Centerline	■	Light Pole
○	Lat and Block Line	■	Guy Anchor
○	Fiber Optic Cable	■	C&G = CURB & GUTTER
○	Banded Electric		

NO.	REVISION	DATE	BY

SCALE:
 HORZ : 1" = 20'
 VERT : 1" = 5'



SCALE:
 HORZ : 1" = 20'
 VERT : 1" = 5'

SCOTT & ASSOCIATES, INC.
 Land Surveyors & Engineers
 CA. #1041 (PLS, PE) Exp. 6/30/16
 901-B Callahan Street
 Muskogee, OK 74403
 Tel: (818) 682-7577

WEST SILOAM SPRINGS ESTATES

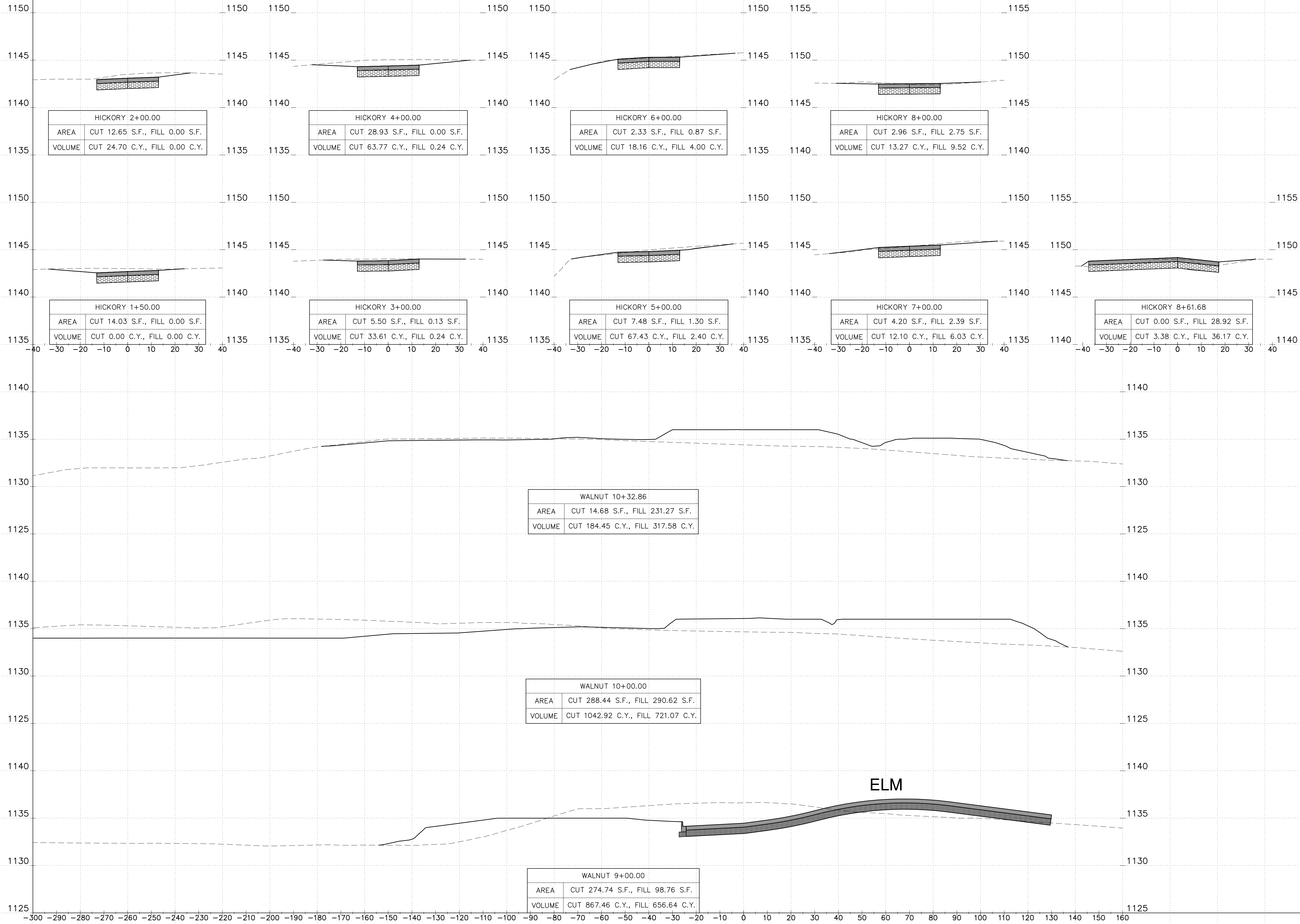
CROSS SECTIONS

FIELD SURVEY: _____ DATE LAST SITE VISIT: _____
 DRAWN BY: _____ DATE PREPARED: 10/15/14

LEGEND

- Cor. Pin
- Bench Mark
- △ Control Point
- Overhead Electric
- Water Line
- Gas Line
- Centrifuge
- Lat and Black Line
- Fiber Optic Cable
- Barbed Electric
- BM — Benchmark
- EM — Electric Meter
- PP — Power Pole
- TP — Telephone Pedestal
- PH — Fire Hydrant
- WM — Water Meter
- LP — Light Pole
- GA — Guy Anchor
- CG&G — CURB & GUTTER

NO.	REVISION	DATE	BY



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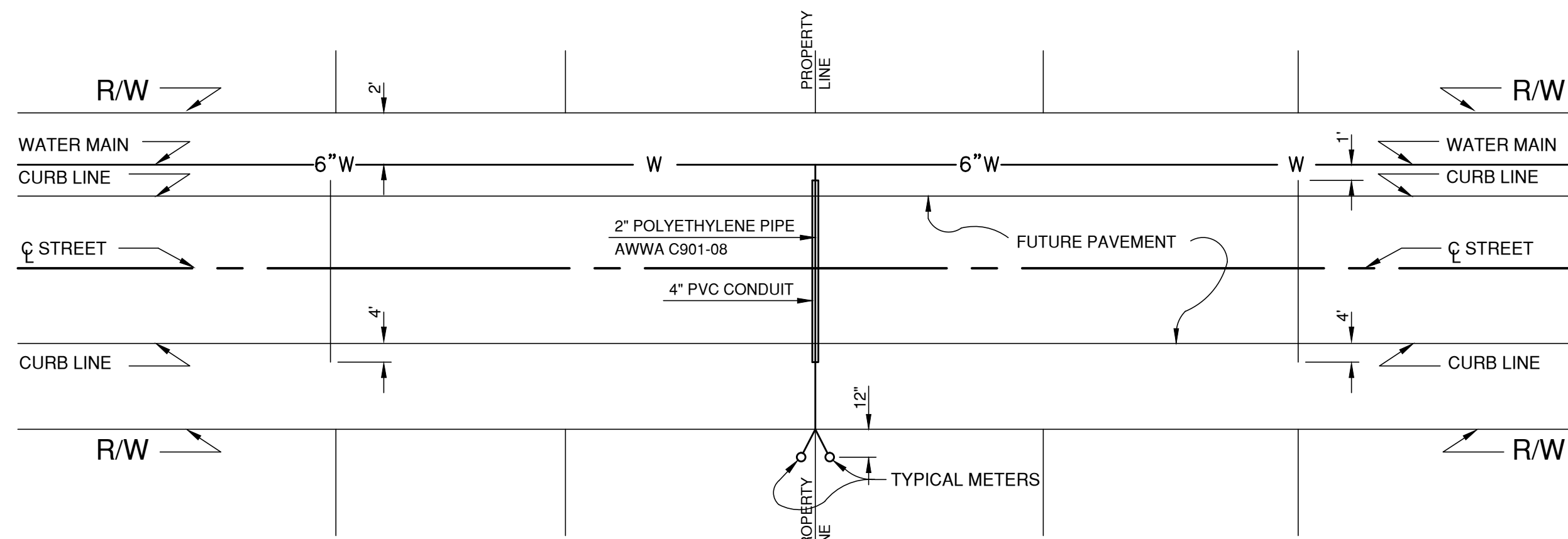
WEST SILOAM SPRINGS ESTATES
CROSS SECTIONS
 FIELD SURVEY: DATE LAST SITE VISIT: 10/15/14
 DRAWN BY: DATE PREPARED:

LEGEND

BM	Benchmark
EM	Electric Meter
EP	Electric Pole
FP	Fire Hydrant
TP	Telephone Pedestal
WM	Water Meter
WP	Water Pole
LP	Light Pole
GA	Guy Anchor
CA	Cable
CB	Cable & GUTTER
CP	Control Point
ES	Overhead Electric
EL	Water Line
GL	Gas Line
CL	Centerline
TL	Telephone
LB	Lat and Block Line
FO	Fiber Optic Cable
BE	Buried Electric

NO.	REVISION	DATE	BY

SCALE:
 HORZ : 1" = 20'
 VERT : 1" = 5'

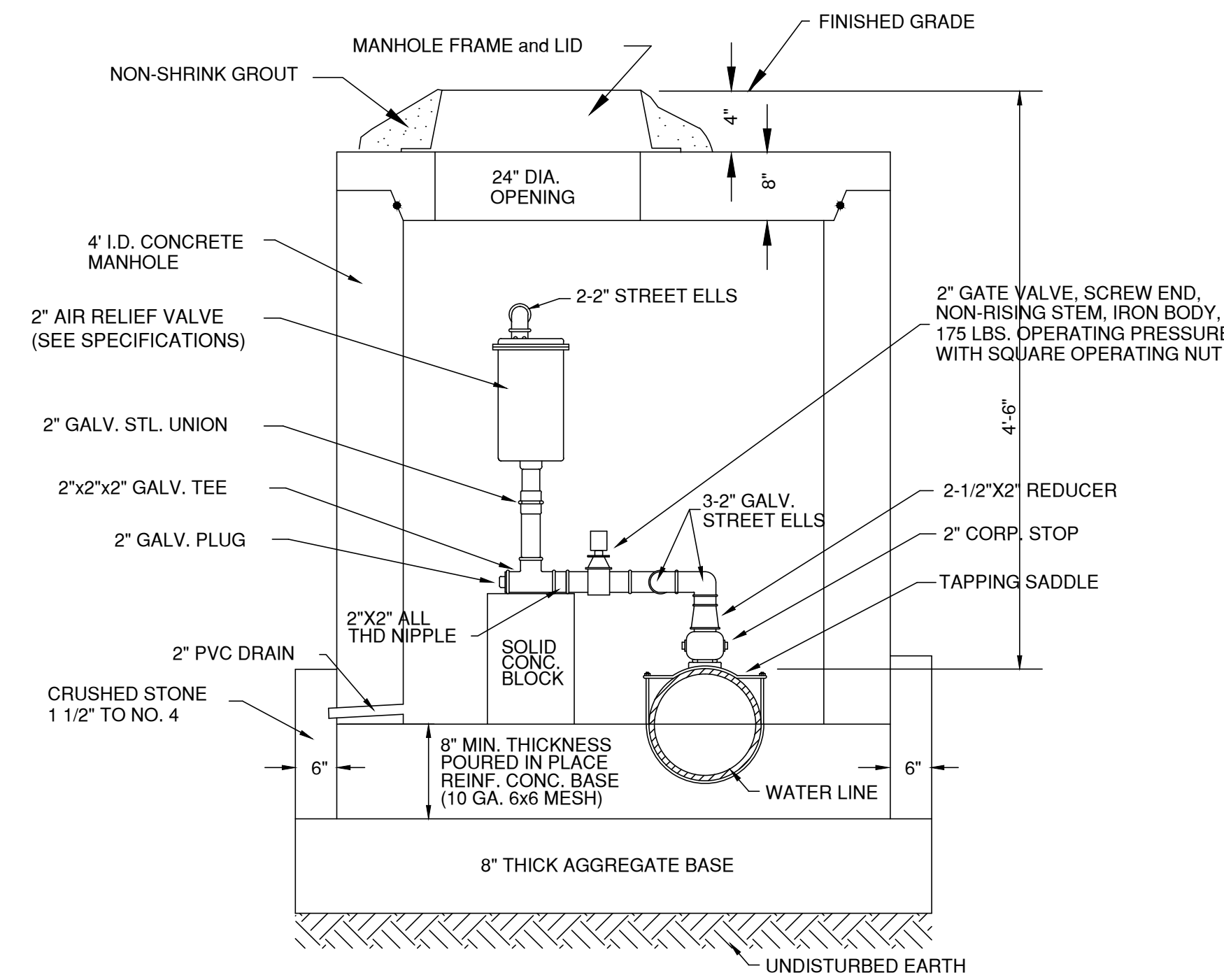


PVC PIPE: SCHEDULE 40 MEETING ASTM 1870
MINIMUM SIZE: 4" I.D.

WALL THICKNESS: .225 (SCHEDULE 40)
COLOR: WHITE
FITTINGS & JOINTS: SOLVENT WELD (SCHEDULE 40)

**TYPICAL PLAN
CONDUIT FOR FUTURE SERVICE LINE CROSSING**

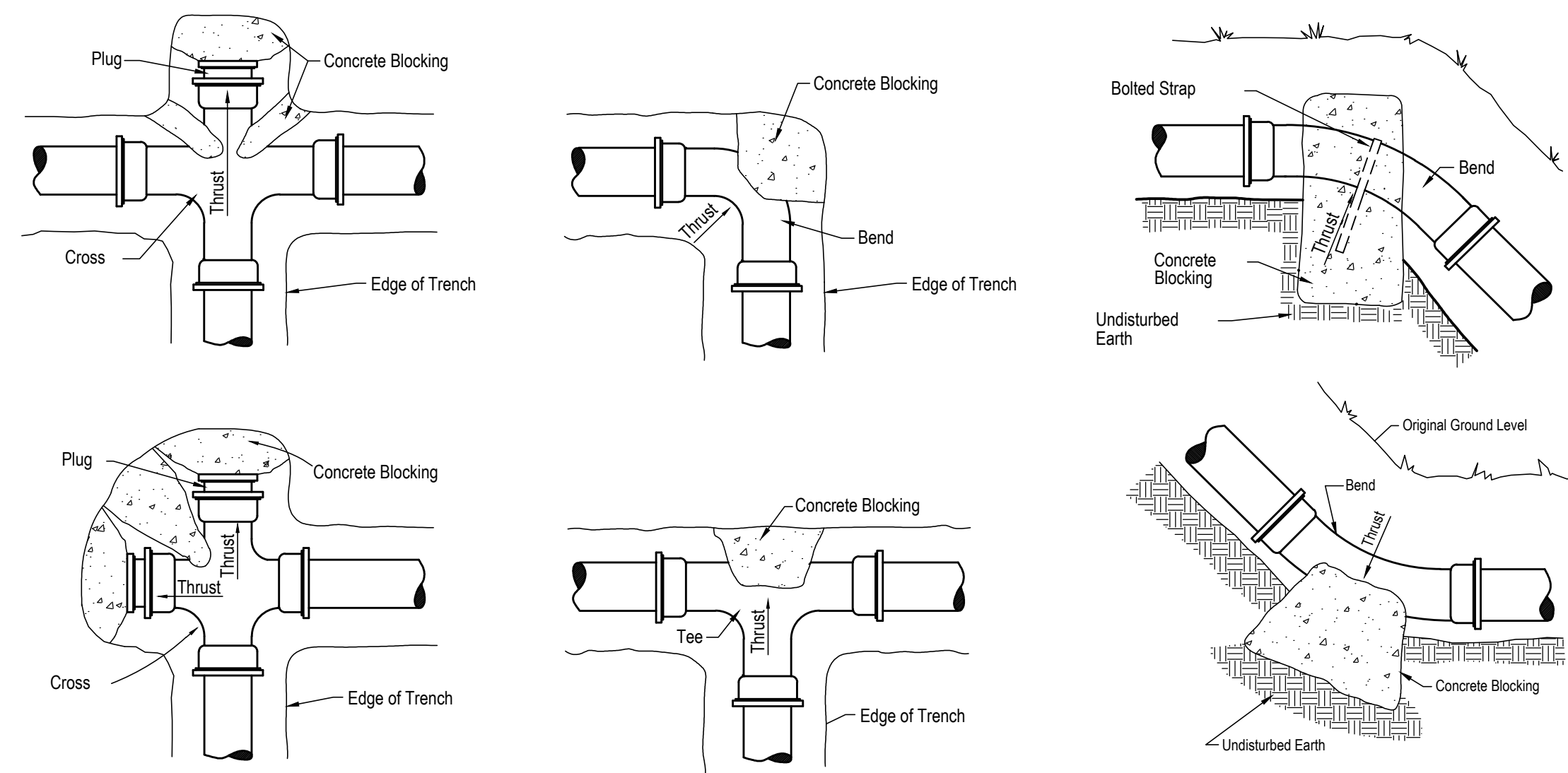
Not To Scale



2\"/>

PIPE SIZE	90 BEND		45 BEND		22.5 BEND		PLUG/TEE	
	SF	CF	SF	CF	SF	CF	SF	CF
2.0	0.47	0.50	0.25	0.50	0.13	0.50	0.66	0.50
4.0	1.87	0.99	1.01	0.54	0.51	0.50	2.64	1.40
6.0	4.20	1.98	2.27	1.07	1.16	0.55	5.94	2.80
8.0	7.46	4.48	4.04	2.43	2.06	1.24	10.56	6.34
10.0	11.66	8.49	6.31	4.59	3.22	2.34	16.49	12.00
12.0	16.79	10.91	9.09	5.90	4.63	3.01	23.75	15.43
16.0	25.86	20.59	16.16	11.14	8.24	5.68	42.22	29.11
20.0	46.65	33.81	25.25	18.30	12.87	9.33	65.97	47.82
24.0	67.79	35.75	36.36	19.35	18.53	9.86	95.00	50.56

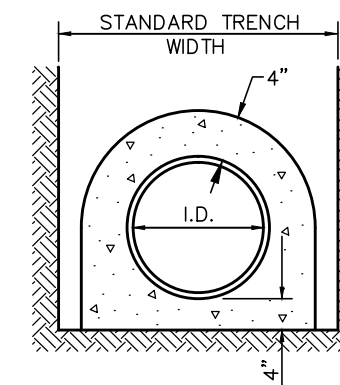
TABLE IS BASED ON 210 PSI INTERNAL PRESSURE AND 1000 PSF ALLOWABLE SOIL BEARING PRESSURE. VALUES ARE APPROXIMATE AND ARE THE MINIMUMS ALLOWED. THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED SOIL.



HORIZONTAL FITTINGS
Not To Scale

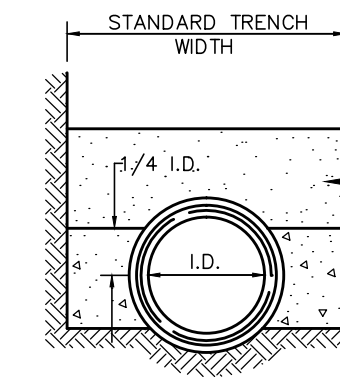
THRUST BLOCKING
Not To Scale

VERTICAL BENDS
Not To Scale



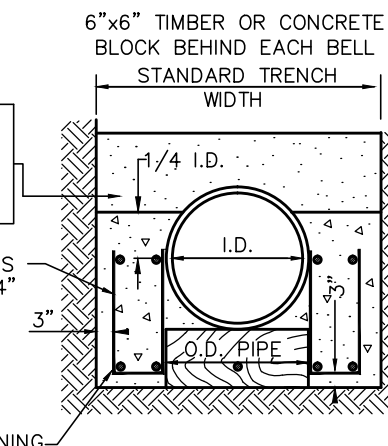
CONCRETE ENCASEMENT
Concrete Per Lin. Ft.

I.D.	CONCRETE PER LIN. FT.
8" I.D. DIP, VCP, RCP, PVC1, 41	1.67
10" I.D. "	1.93
12" I.D. "	2.36
15" I.D. "	2.81
18" I.D. "	3.27
24" I.D. "	3.78
27" I.D. "	4.26
30" I.D. DIP, VCP PVC 4.78	
30" I.D. RCP 6.09	
36" I.D. DIP, VCP PVC 5.80	
36" I.D. RCP 6.20	



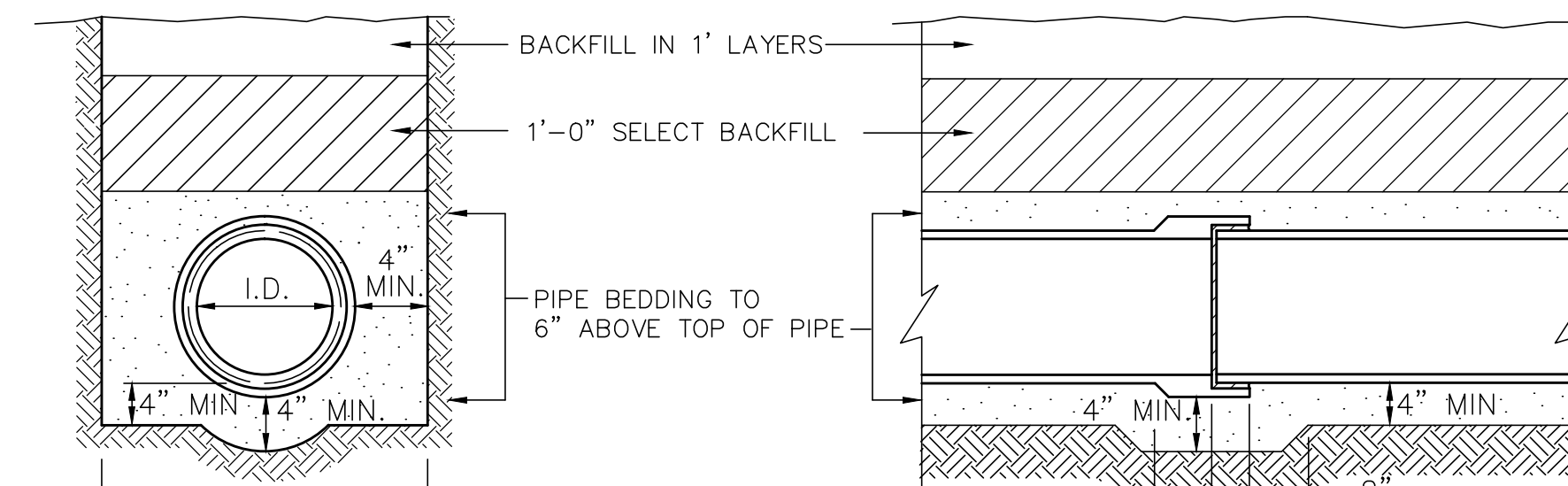
CONCRETE CRADLE
Concrete Per Lin. Ft.

I.D.	CONCRETE PER LIN. FT.
8" I.D. DIP, VCP, RCP, PVC1, 09 CU. FT.	1.23
12" I.D. "	1.33
15" I.D. "	1.86
18" I.D. "	2.00
21" I.D. "	1.96
24" I.D. "	2.89
27" I.D. "	3.62
30" I.D. DIP, VCP PVC 3.38	
30" I.D. RCP 4.40	
36" I.D. DIP, VCP PVC 4.12	
36" I.D. RCP 5.26	



WATER TABLE CRADLE
Concrete Per Lin. Ft.

I.D.	CONCRETE PER LIN. FT.
8" I.D. DIP, VCP, RCP, PVC2, 34 CU. FT.	2.48
12" I.D. "	2.58
15" I.D. "	3.04
18" I.D. "	3.50
21" I.D. "	3.46
24" I.D. "	4.44
27" I.D. "	5.62
30" I.D. DIP, VCP PVC 5.38	
30" I.D. RCP 6.65	
36" I.D. DIP, VCP PVC 6.37	
36" I.D. RCP 7.76	



NOTE: SAND BELOW THE PIPE WILL NOT TO BE USED WITH CRADLE UNLESS ROCK IS ENCOUNTERED.

TYPICAL SAND CUSHION STANDARD TRENCH WIDTH (CROSS SECTION)

I.D.	STANDARD TRENCH WIDTH
4" - 12" STANDARD TRENCH	
WIDTH DIP, VCP, RCP, = 30" PVC	
I.D. = 15" STANDARD TRENCH	
WIDTH DIP, VCP, RCP, = 33" PVC	
I.D. = 18" - 21" STANDARD TRENCH	
WIDTH DIP, VCP, RCP = 36" PVC	
I.D. = 24" STANDARD TRENCH	
WIDTH DIP, VCP, RCP = 42" PVC	
I.D. = 27" STANDARD TRENCH	
WIDTH DIP, VCP, RCP = 48" PVC	
I.D. = 30" STANDARD TRENCH	
WIDTH DIP, VCP = 48", RCP=54" PVC	
I.D. = 36" STANDARD TRENCH	
WIDTH DIP, VCP = 54", RCP=60" PVC	
I.D. = LARGER THAN 36"	

SEE DRAWINGS

SAND CUSHION Sand Per Lin. Ft.

I.D.	STANDARD TRENCH WIDTH
8" I.D. DIP, VCP, RCP, PVC	3.57 CU. FT.
10" I.D. "	3.78 "
12" I.D. "	3.93 "
15" I.D. "	4.63 "
18" I.D. "	5.35 "
21" I.D. "	5.35 "
24" I.D. "	6.61 "
27" I.D. "	8.40 "
30" I.D. DIP, VCP	8.32 "
30" I.D. RCP	10.16 "
36" I.D. DIP, VCP	9.92 "
36" I.D. RCP	11.94 "

WATER LINE TRENCH
Not To Scale

1. ALL WATER LINES UNDER PAVEMENT SHALE BE BACKFILLED WITH 3/4" CRUSHED STONE BASE COMPACTED TO 95% STD. PROCTOR



WEST SILOAM SPRINGS
ESTATES

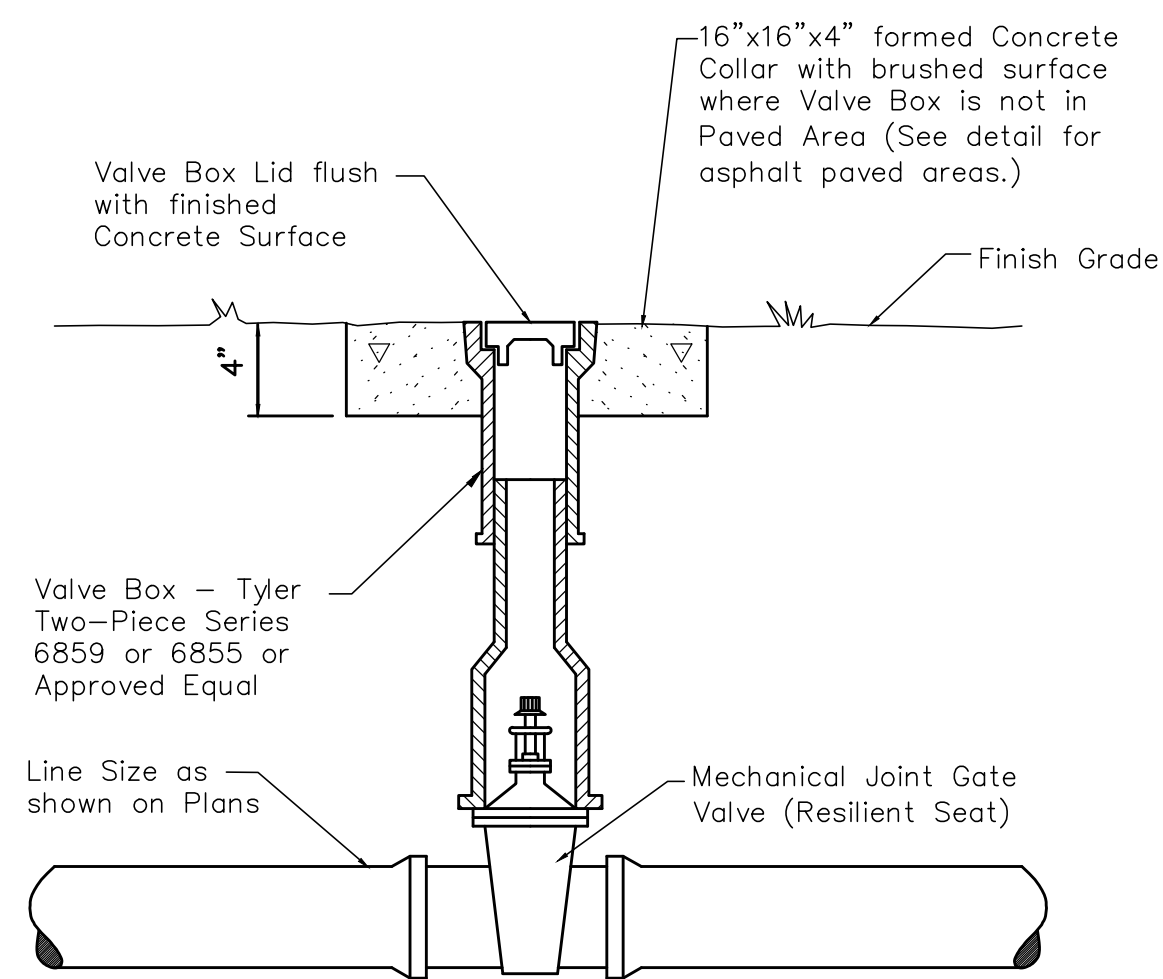
WATER LINE STANDARDS

FIELD SURVEY: DATE LAST SITE VISIT:
DRAWN BY: DATE PREPARED: 10/15/14

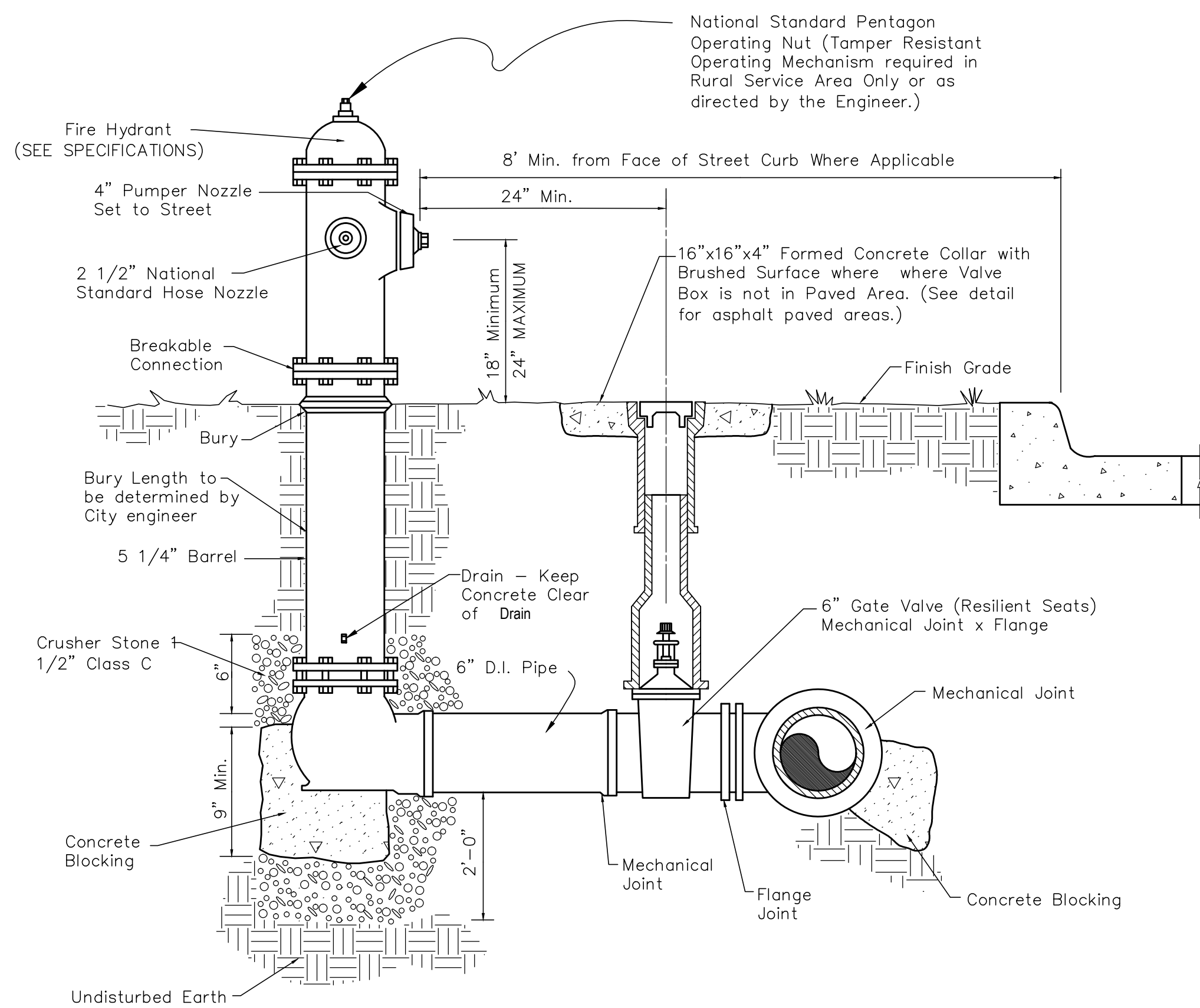
LEGEND
 BM = Benchmark
 EM = Electric Meter
 CP = Control Point
 OP = Overhead Electric
 W = Water Line
 G = Gas Line
 BR = Centerline
 O = Lot and Block Line
 E = Easement
 FT = Filler Electric
 BF = Buried Electric
 BH = Buried Electric

BK = Benchmark
 EM = Electric Meter
 CP = Control Point
 OP = Overhead Electric
 W = Water Line
 G = Gas Line
 BR = Centerline
 O = Lot and Block Line
 E = Easement
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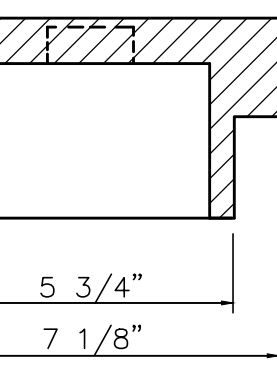
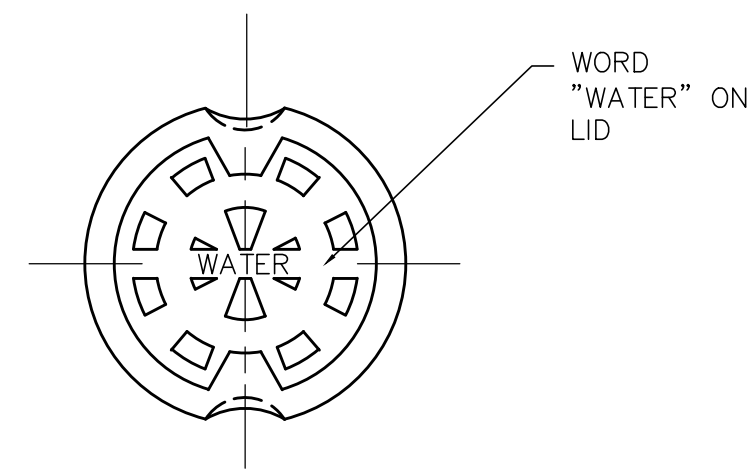
NO.	DATE	BY	REVISION



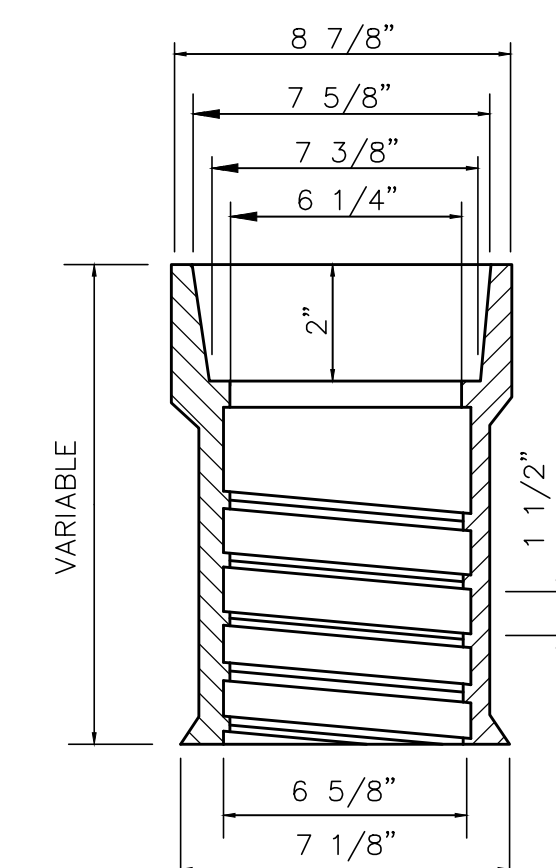
PIPING & VALVE BOX (non-paved areas)
Not To Scale



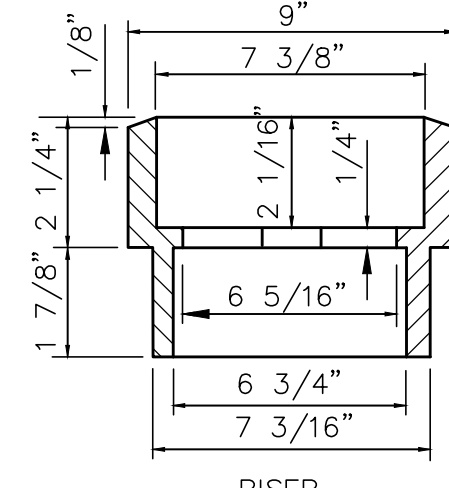
FIRE HYDRANT & VALVE
Not To Scale



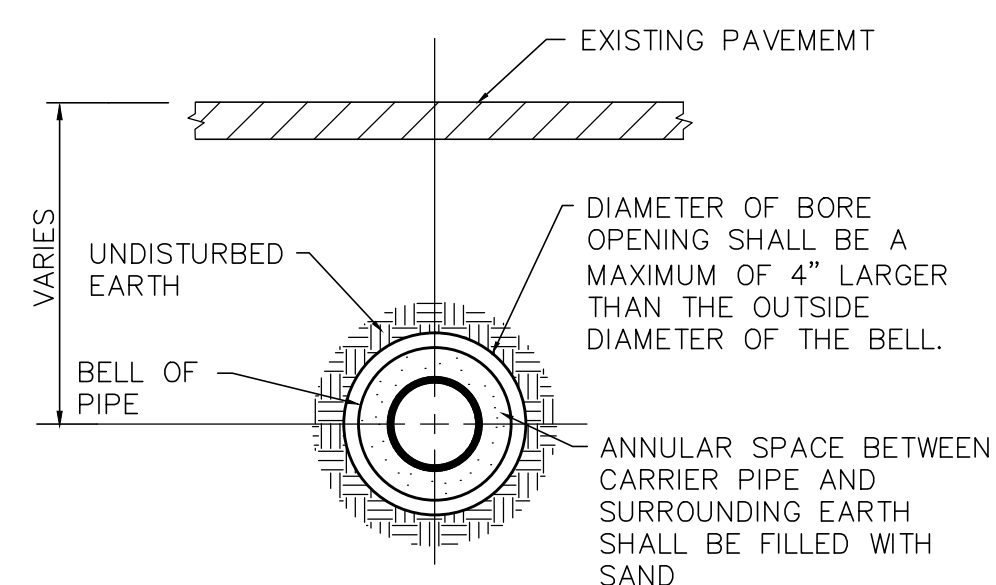
DROP LID



TOP SECTION

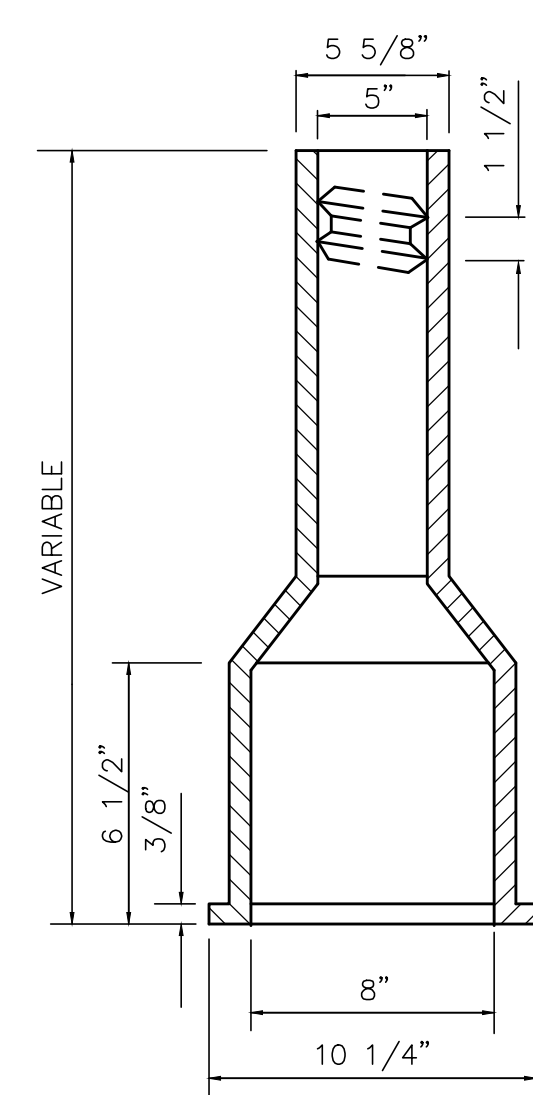


RISER

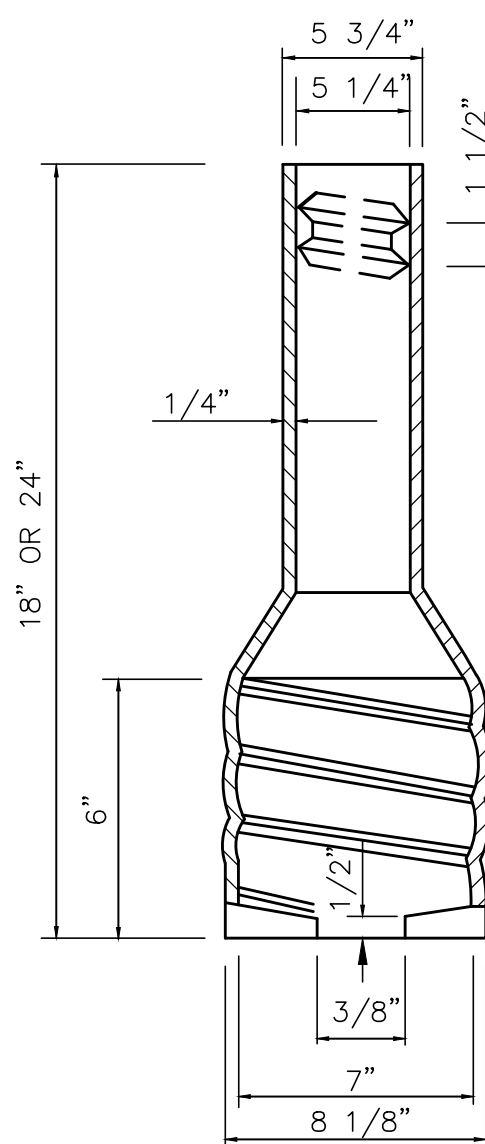


TYPICAL SECTION
INSTALLATION OF PIPE UNDER ROADWAY
Not To Scale

- NOTES TO CONTRACTOR:**
1. THIS DETAIL IS SUBMITTED AS AN APPROVED METHOD OF CONSTRUCTION FOR INSTALLATION OF PIPE UNDER ROADWAYS.
 2. NO ADDITIONAL PAYMENT SHALL BE MADE FOR WORK INCIDENTAL TO THIS METHOD OF CONSTRUCTION.



BOTTOM SECTION



EXTENSION PIECES

VALVE BOX
(CAST IRON)
Not To Scale

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WEST SILOAM SPRINGS
ESTATES
WATER LINE STANDARDS

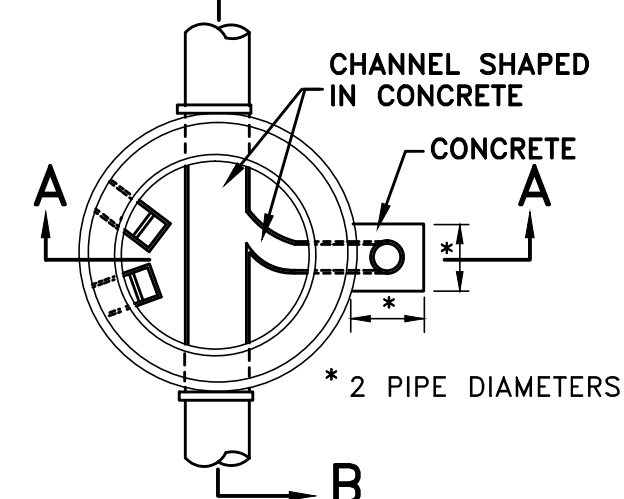
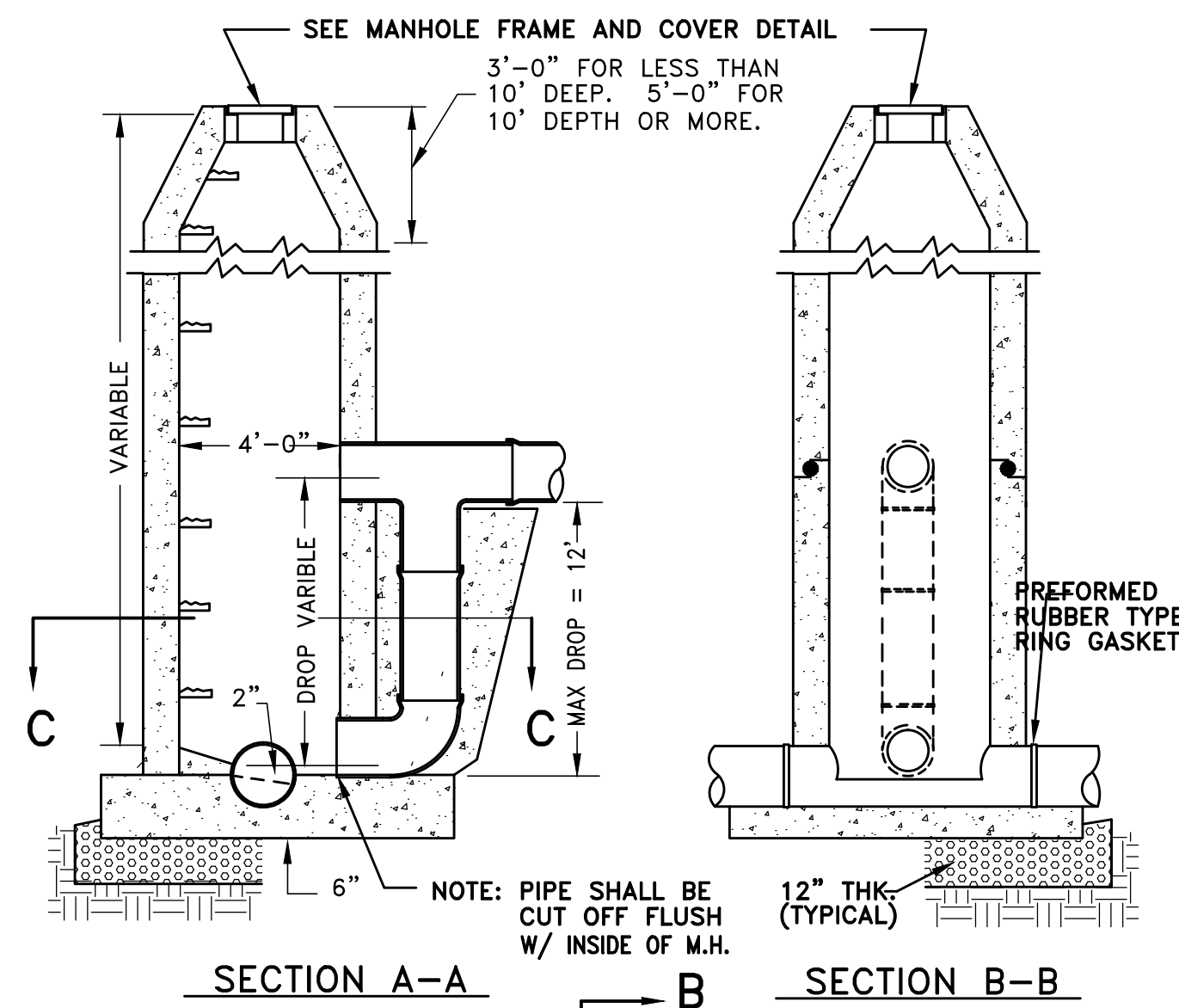
FIELD SURVEY: DATE LAST SITE VISIT:
DRAWN BY: DATE PREPARED:
10/15/14

LEGEND

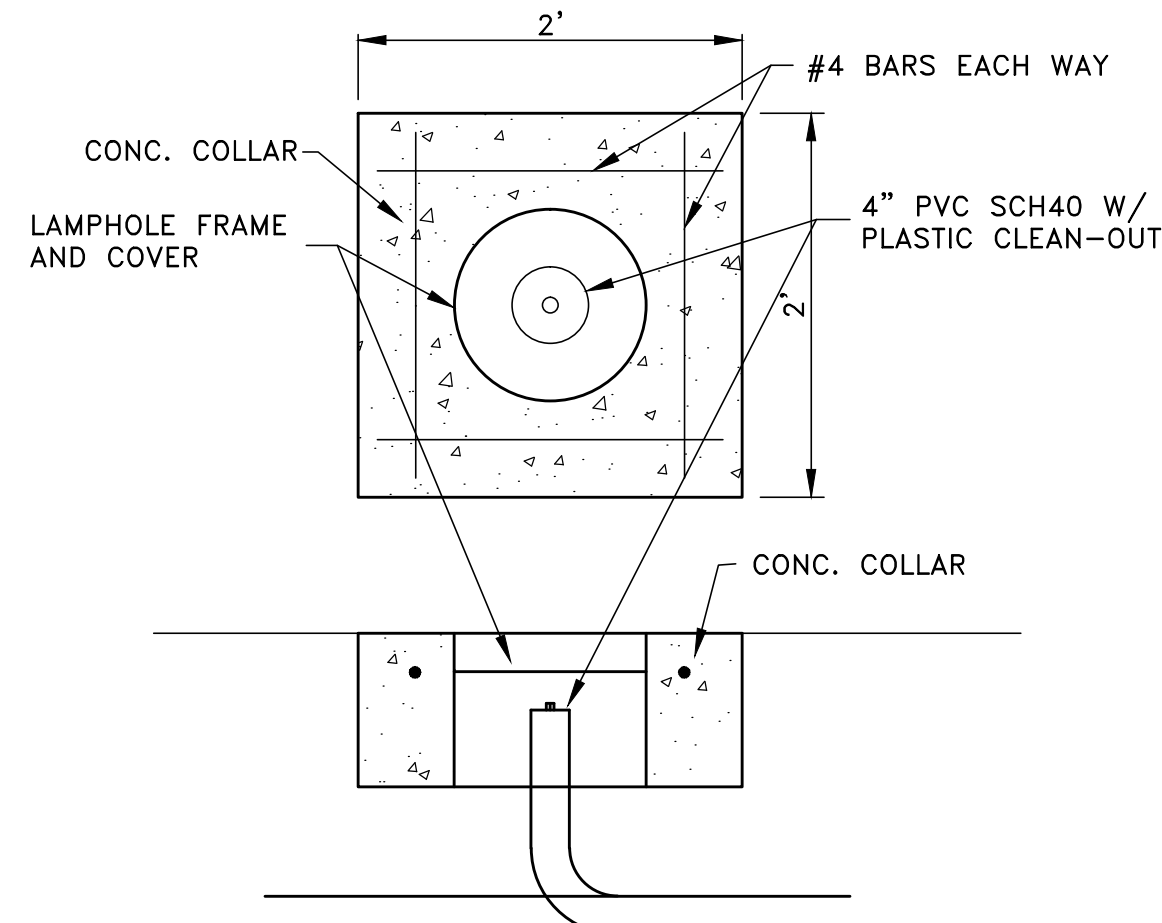
BM = Benchmark
EM = Electric Meter
EP = Power Pole
CP = Control Point
WP = Water Line
GL = Gas Line
CL = Centerline
FH = Fire Hydrant
WM = Water Meter
LP = Light Pole
CA = Guy Anchor
C&G = CURB & GUTTER

Car. Find
Original Stone Find
Control Point
Overhead Electric
Water Line
Gas Line
Centerline
Telephone
Lot and Block Line
Lat and Block Line
Fiber Optic Cable
Barbed Electric

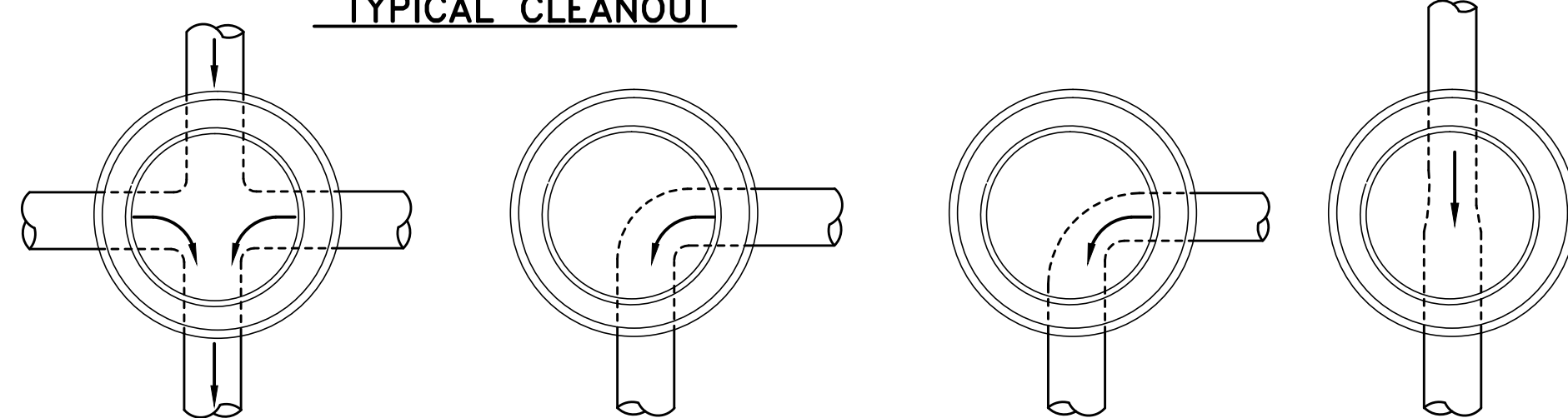
NO.	DATE	BY	REVISION



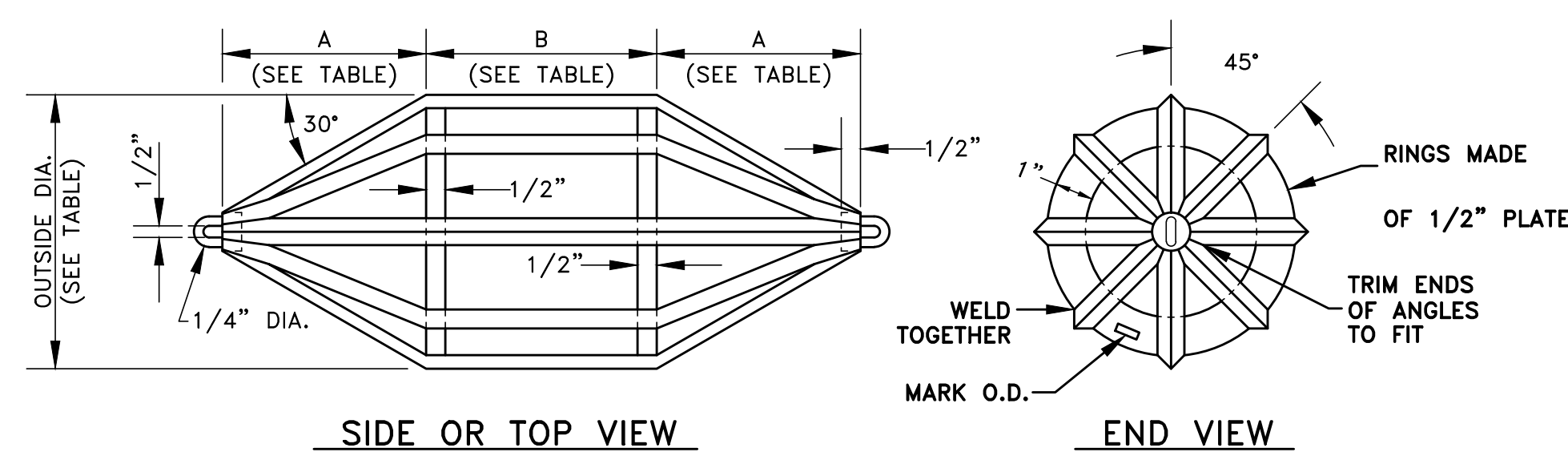
SECTION C-C
STANDARD DROP MANHOLE



TYPICAL CLEANOUT



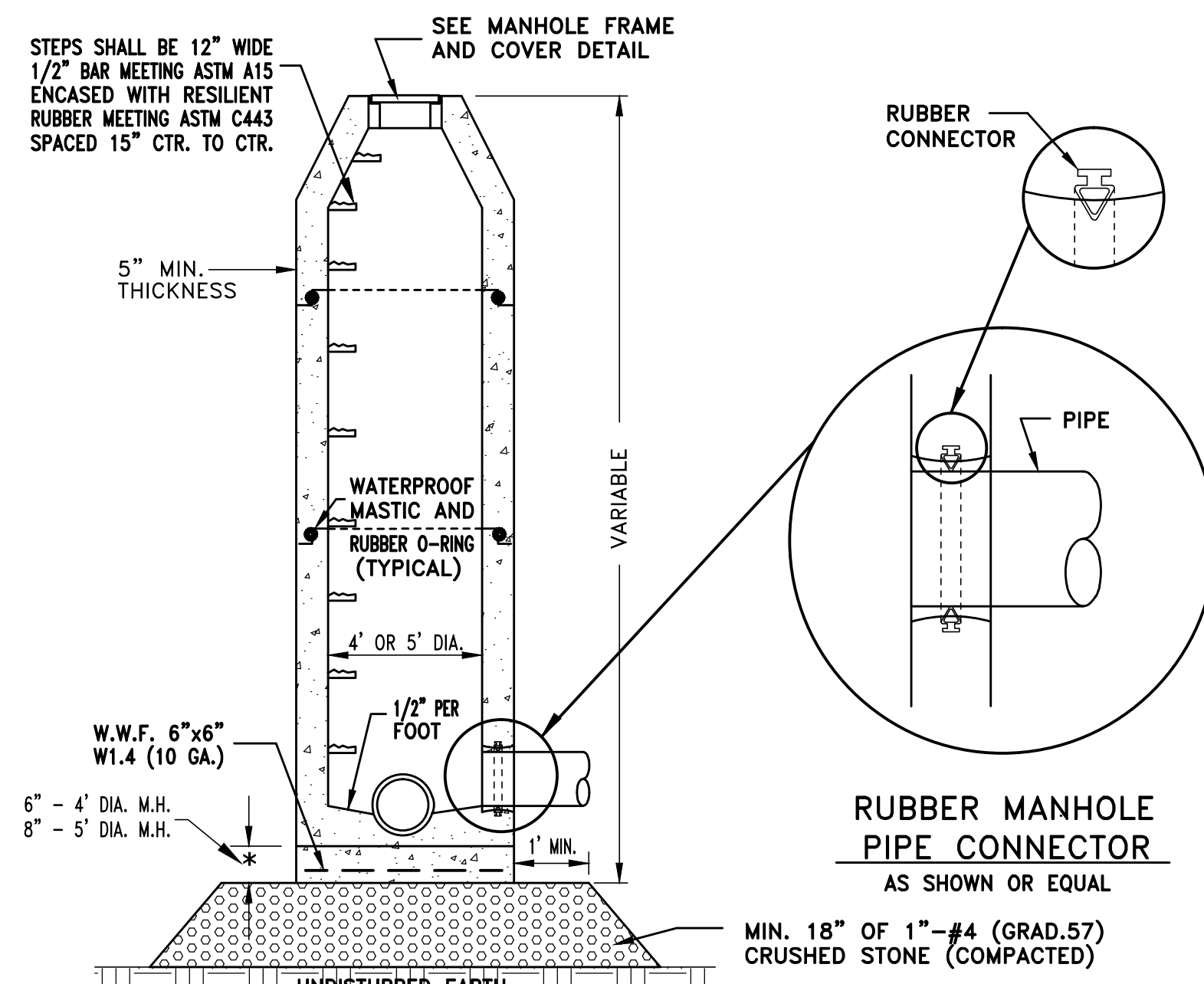
TYPICAL MANHOLE INVERT DETAILS



SIDE OR TOP VIEW

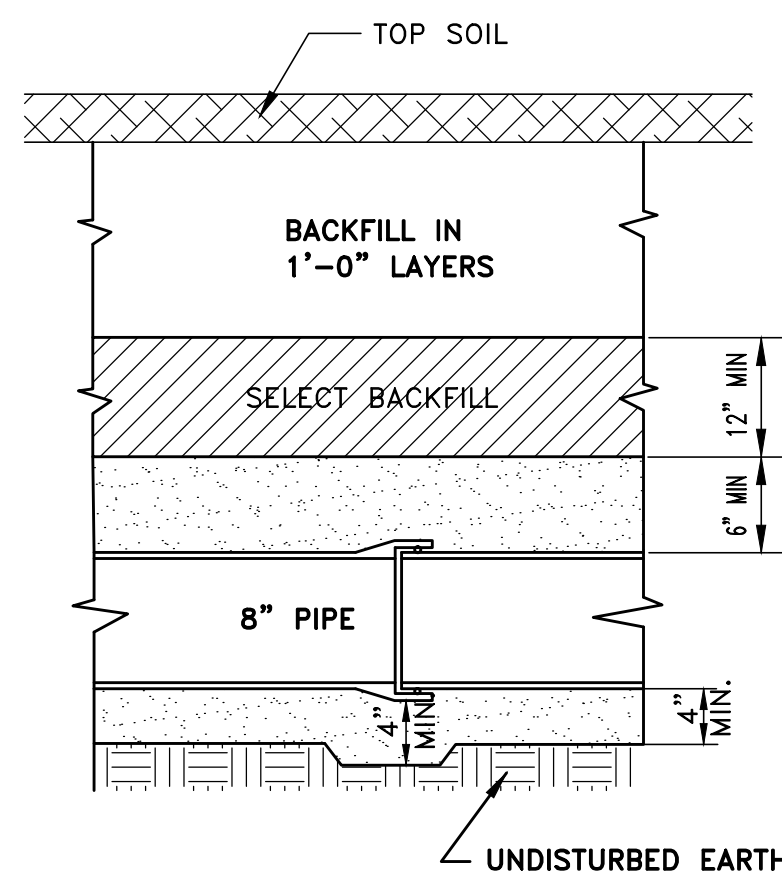
END VIEW

TESTING MANDRELL

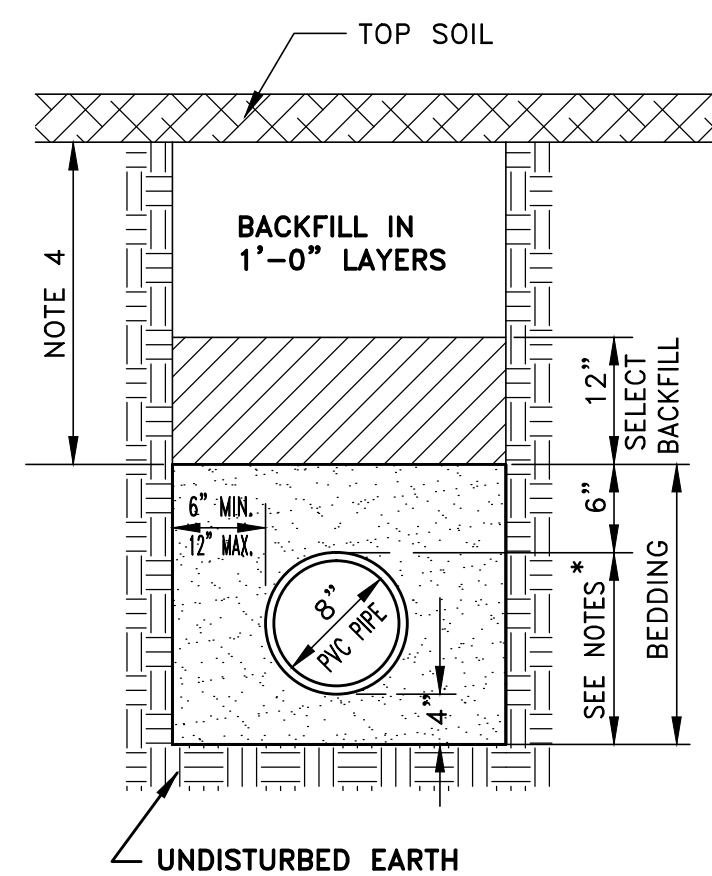


PRE-CAST MANHOLE

1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL



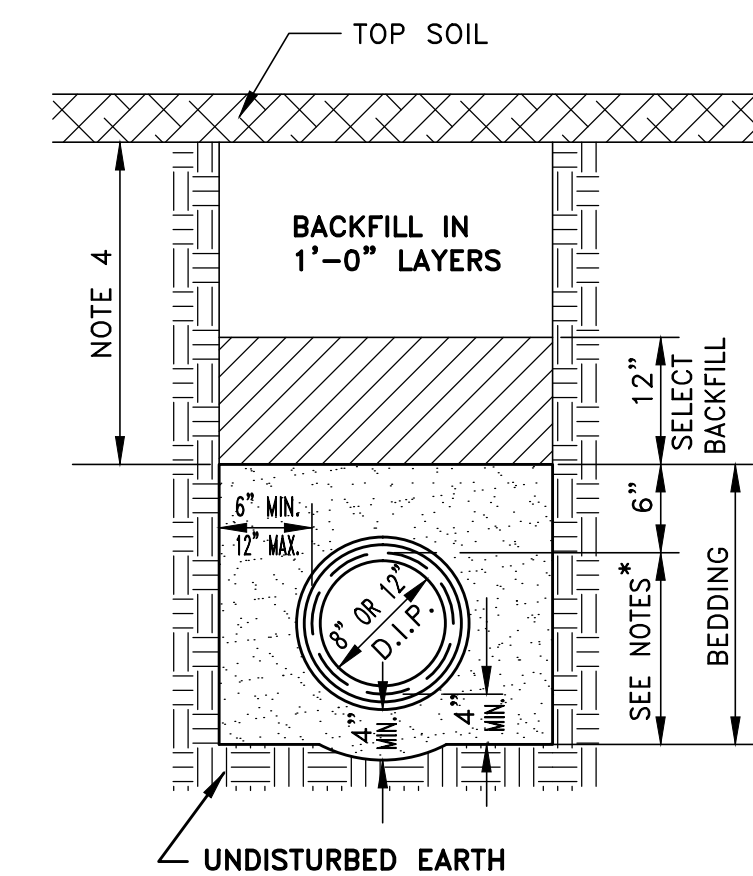
LONGITUDINAL SECTION



P.V.C. CROSS SECTION

- *NOTES:
- FOR DEPTH OF COVER 9'-0" USE STANDARD CLEAN SAND BEDDING (CLASS II)
 - FOR DEPTH OF COVER 9' -0" USE 3/4" TO NO. 4 CLEAN CRUSHED STONE (GRAD. #67) FOR BEDDING (CLASS II).
 - SELECT BACKFILL SHALL BE EXISTING MATERIAL.
 - BACKFILL UNDER STREETS AND CURB & GUTTER SHALL BE TYPE "A" AGGREGATE TO BOTTOM OF BASE AGGREGATE FOR STREETS, COMPACTED IN 6" LIFTS.

TYPICAL TRENCH DETAILS

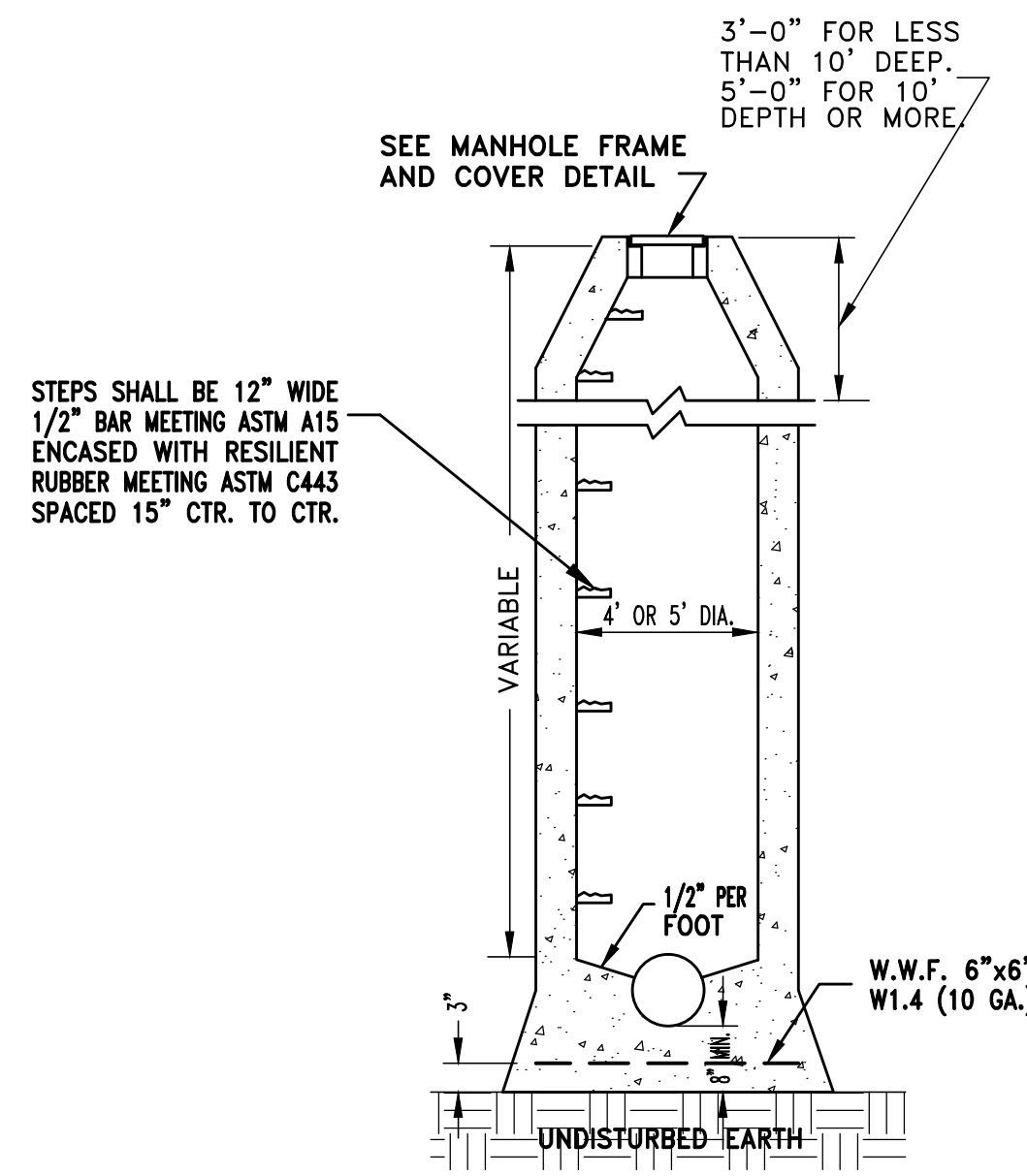


D.I.P. CROSS SECTION

- *NOTES:
- BEDDING SHALL BE SAND PLACED IN THE TRENCH SIMULTANEOUSLY ON BOTH SIDES OF THE PIPE AND HAND TAMPED TO ASSURE CONSOLIDATION.
 - AS AN ALTERNATE, BEDDING SHALL BE CLEAN CRUSHED STONE, 1/2" TO #4, (GRAD #7). THE CRUSHED STONE SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED 12 INCHES IN THICKNESS AND COMPACTED.
 - SELECT BACKFILL SHALL BE EXISTING MATERIAL.
 - BACKFILL UNDER STREETS AND CURB & GUTTER SHALL BE TYPE "A" AGGREGATE TO BOTTOM OF BASE AGGREGATE FOR STREETS, COMPACTED IN 6" LIFTS.

SIZE	A	B	PVC PIPE SDR 35		ABS & PVC COMPOSITE PIPE	
			MANDRELL O.D. (IN.)	BASE INSIDE DIA. (IN.)	MANDRELL O.D. (IN.)	AVG. INSIDE DIA. (IN.)
8	5.3"	6"	7.28	7.665	7.36	7.75
10	6.7"	6"	9.08	9.563	9.26	9.75
12	8.0"	8"	10.79	11.361	11.16	11.75

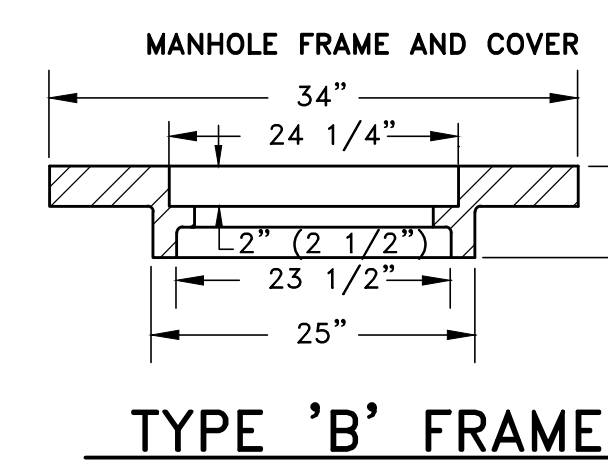
MANDRELL SIZES



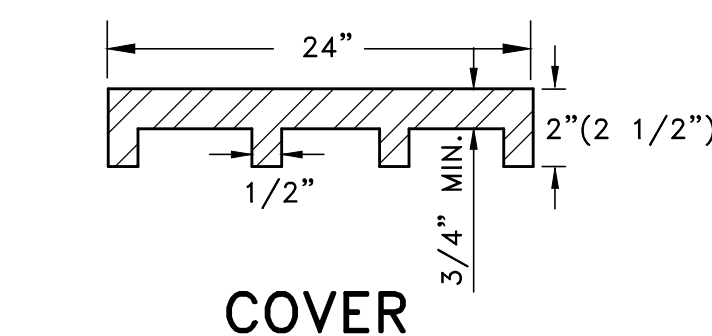
CAST-IN-PLACE MANHOLE
W/ ECCENTRIC TAPER

NOTES:

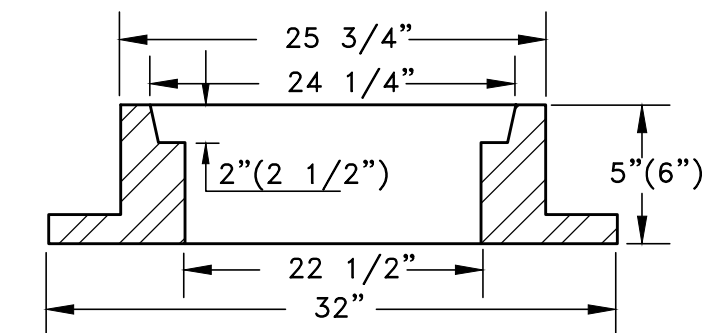
- CAST IN PLACE MANHOLES SHALL HAVE ECCENTRIC ENTRANCES AND SHALL BE EITHER THE FLAT SLAB OR ECCENTRIC TAPER TYPE, SUBJECT TO THE SPECIFIED RESTRICTIONS.
- LOW SLUMP CONCRETE SHALL BE PLACED IN THE FOOTINGS AND LOWER WALLS, AND SHALL BE PLACED AND VIBRATED IN ONE FOOT LIFTS.
- THE ENGINEER OR IT'S REPRESENTATIVE MUST BE PRESENT BEFORE AND DURING THE PLACING OF THE CONCRETE.
- THIS MANHOLE SHALL NOT BE USED IN PAVED STREETS OR OTHER TRAVELED AREAS.
- THE CONCRETE MUST SET FOR 48 HOURS BEFORE PIPE INSIDE OF MANHOLE IS TRIMMED.
- (ALTERNATE 3) INVERT MUST BE FORMED AT TIME OF BOTTOM POUR.
- WATER STOPS MAY BE ELIMINATED IF BARREL OF MANHOLE IS POURED WITHIN 4 HOURS.
- THE TOP STEP SHALL BE NOT MORE THAN 27" AND NOT LESS THAN 18" FROM THE TOP OF THE LID.
- THE MINIMUM INVERT DEPTH SHALL BE 3/4 TIMES THE PIPE DIAMETER.



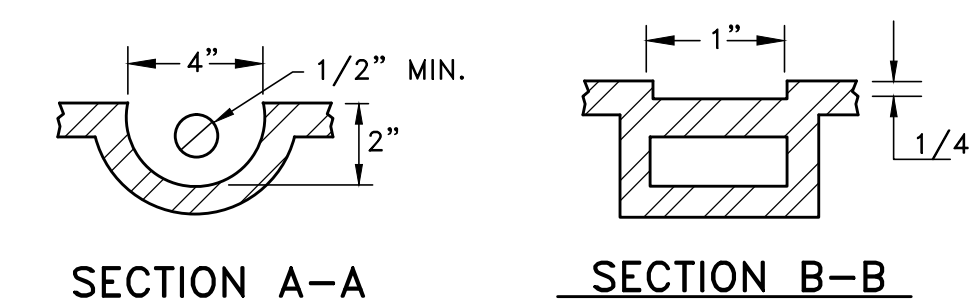
TYPE 'B' FRAME



COVER



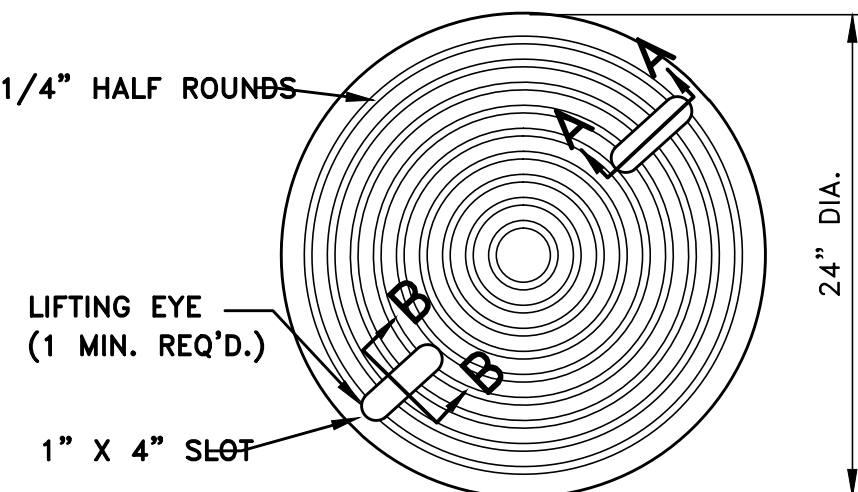
TYPE 'A' FRAME



SECTION A-A

SECTION B-B

LIFTING EYE DETAIL



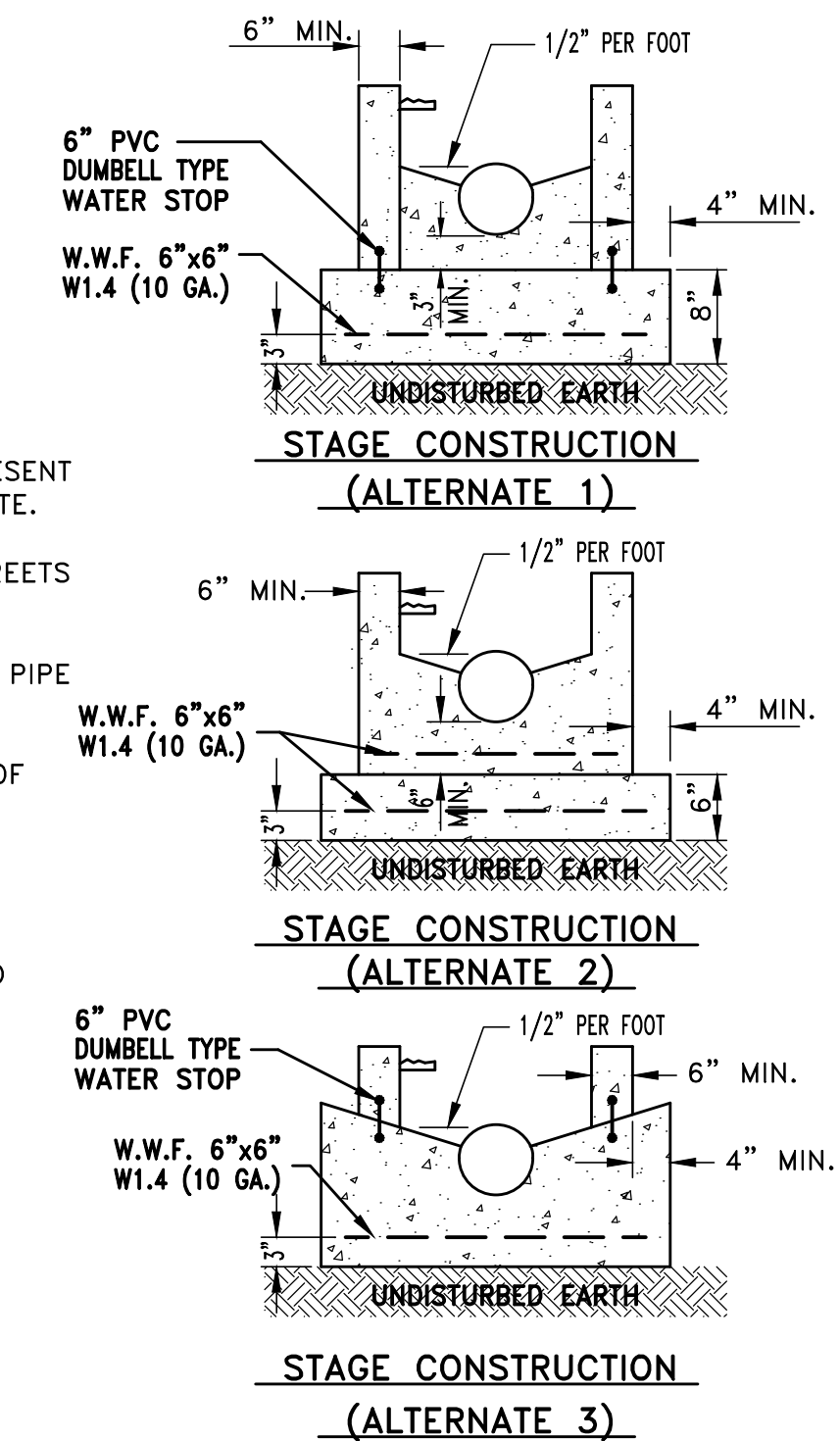
TOP PLAN OF COVER

- *NOTE: 1. COVER SHALL BE MARKED WITH WORDS SANITARY SEWER
2. MINIMUM WEIGHT OF STANDARD LID 100 POUNDS.
3. TYPE 'B' FRAME TO BE USED ON PRECAST MANHOLES ONLY, WHERE GRADE CLEARANCE IS A PROBLEM.
4. FURNISHED WITH MACHINED BEARING SURFACES

STANDARD
MINIMUM WEIGHT 280 POUNDS
BASS AND HAYS NO. 300-24,
NEENAH R-1688 OR EQUAL

HEAVY DUTY, FOR IN STREET APPLICATION
MINIMUM WEIGHT 400 POUNDS
BASS AND HAYS NO. 400-24, NEENAH
R-1687 OR EQUAL

- NOTES:
- 8" TO 18" PIPE - MH 4' I.D
 - 21" TO 36" PIPE - MH 5' I.D
 - LARGER THAN 36" PIPE - SPECIAL MH
 - MANHOLE STEPS SHALL BE INSTALLED



STAGE CONSTRUCTION (ALTERNATE 1)

STAGE CONSTRUCTION (ALTERNATE 2)

STAGE CONSTRUCTION (ALTERNATE 3)

SCOTT & ASSOCIATES, INC.
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WEST SILOAM SPRINGS
ESTATES
SANITARY SEWER STANDARDS
FIELD SURVEY: DATE LAST SITE VISIT:
DRAWN BY: DATE PREPARED:
10/15/14

LEGEND
BM = Benchmark
EM = Electric Meter
EP = Ejector Point
GR = Gas Line
HP = Hand Pole
IP = Invert Point
LP = Light Pole
M = Manhole
P = Pipe
R = Right of Way
S = Sanitary Sewer
T = Telephone Pedestal
W = Water Meter
WM = Water Meter
WV = Water Valve
Y = Guy Anchor
Z = Zoned Area

NO.	REVISION	DATE	BY