



ADDENDUM 01 – 04.20.2018

Saline Courthouse Restoration

Project:

Bid ID: 16932

Owner: Cherokee Nation Businesses, LLC

Architect: 1Architecture, LLC

To: Prospective Bidders

This Addendum forms a part of the Contract Documents and modifies the original bidding documents with the amendments and additions noted below.

Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may disqualify the Bidder.

This Addendum consists of eight (8) pages and the following bidding information, Drawings, and Attachments:

- One substitution request was received – response noted in the attachments below
- Addendum 01, Bidder Question and Answers/Clarifications attachment consisting of four (4) pages.
- Addendum 01, Drawing attachments consisting of three (3) pages.

CHANGES TO THE PROJECT MANUAL:

SECTION 07 2126 – Blown Insulation

1. Replace Part 2.2 (A) with “Loose Fill Insulation: ASTM C739, cellulose fiber type treated with boric acid, bulk for pneumatic placement.”

CHANGES TO THE DRAWINGS:

COVER SHEET

1. Add Alternate # 4 - Add sealant prep to siding and trim joints prior to exterior painting.

SHEET C300 – Grading/Layout Plan

2. Add additional notes for underdrain.

SHEET A101 – Floor Plan – Level 1

3. Revise stair dimensions and handrail extensions lengths.

END OF ADDENDUM 01

Bidder Question and Answers/Clarifications – 04.20.2018

Saline Courthouse Restoration

- Question:** In Spec 26-0519-5 MC Cable is stated not for use except in Light Fixture Whips 6' or Less. May we use MC Cable inside of concealed walls to decrease some of the General Contractors removal of some wall coverings?

Answer: Yes, MC cables are acceptable inside concealed walls to decrease removal of wall coverings.
- Question:** In Spec 26-0519-5 it states that all conductors #10 AWG and smaller must be Solid Conductors. May we use Stranded Conductors?

Answer: Stranded conductors are not acceptable, please provide solid conductors.
- Question:** On Drawing E400 there is a note that states – Existing Electrical Service for mobile home to remain. Contractor to field verify the electrical scope of work with the owner prior to bid and include associated costs. Is there a scope of work for the Mobile Home?? No scope currently indicated – confirmed?

Answer: There is no work related to the mobile home. The note was to ensure that service to the mobile home was not disturbed.
- Question:** On Drawing E400 there is a note that states Contractor to remove all existing non-compliant receptacles and conductors from existing utility pole. Contractor shall install WP GFI Receptacles if required by owner, replace conduits and conductors as required per NEC Guidelines. Does this include all poles on property?

Answer: The utility pole(s) with meters that supply the courthouse and any existing electrical items out of code compliance between the pole and courthouse are the only ones that need to be addressed.
- Question:** On Sheets D101 and D102 There is a note regarding the ceilings in preparation for the Drywall etc. To accommodate the installation of the NEW Can Lighting will the General Contractor be removing the Ceilings in these areas?

Answer: The wood slat ceilings will only be completely removed where note #1 is indicated on the demo plans. They will be removed in those areas, but not in other areas where wood slat ceilings are indicated to remain. RE: A103 & A104
- Question:** Has the Engineer or Architect been in contact with LREC inquiring about the upgrade of service?

Answer: The engineer reached out to the utility provider several times, but no connection was ever established.
- Question:** The 400A Electrical Panel that has been specified has a common Height of 72" . Can we get verification that the location shown on the drawings will be sufficient space for the Specified Panel?

Answer: Room height is approximately 76", but panel may need to be relocated to the Office side of the MEP Chase and recessed, pending Owner and fire protection items to be located in the Mechanical room. Engineer will issue an ASI if needed for panel placement.

8. **Question:** For the Service Entrance Rated Panel they have informed us that a Main Breaker will be required it is Stated MLO on Sheet E400. Please clarify.
Answer: Electrical service is protected by 300A enclosed circuit breaker in the main service disconnect, therefore main breaker is not required in the panelboard. Refer to one-line diagram detail 1/E400 for more information.
9. **Question:** The Mechanical work (duct work) for the first floor is shown to be installed in the crawl space. The dirt grade is at the bottom of the joist in over half of the floor area. To install ductwork, soil will have to be excavated from the crawl space. Is this your intention? Can the soil be excavated only where the duct work passes or do you want the entire area lowered? This will be an expensive and time consuming operation and there is no information as to whether there is rock in this space or if it is soil that has to be excavated.
Answer: Please provide a unit price, in cubic yards, to excavate soil for ductwork installation. The engineer can work with the selected contractor in shops to revise duct routing if required.
10. **Question:** Detail 2 on A101 shows rigid insulation applied to the inside of the stem walls. It indicates a neat formed concrete stem wall. In fact the stem walls are rough stone and the rigid insulation cannot be applied to that surface. How do you want this work performed?
Answer: Insulation may be held against the surface of the wall with 1"-4" zinc-plated corner braces attached to the bottom sides of the joists, and held at the ground with either galvanized landscape staples or stakes. Additionally, closed cell spray foam insulation may be used in place of the rigid and batt insulation in the crawl space location.
11. **Question:** On the elevations on A200 note 1 indicates a general direction to "patch and repair siding". Note 2 points to specific places where we are to "replace siding". Is note 1 a general note or does it indicate work beyond the replacement of discreet areas in note 2?
Answer: Note 1 is a general note indicating additional work for patching of wood siding in smaller areas than can be portrayed on the drawings. This would also include securing wood siding back to the structure where it's bowed or unfastened.
12. **Question:** Sheet C-500 and E200 both call out for 2" conduit and contractor to verify loads on pump equipment. Is that information on the Owner furnished equipment available?
Answer: This information is not available at this time. The Owner will advise the selected contractor of actual loads.
13. **Question:** If alternate #5 is not accepted, what is the expectation on the existing windows? The majority will have to be rebuilt, re glazed and several are currently hung wrong.
Answer: Notes 3, 4, 5, & 7 on Sheet A200 indicate exact items to be repaired at each window. Windows with broken glass will need to be re-glazed. Windows with note #5 will need to be re-framed where frames are broken or missing. If damage is too great or costly, full replacement is at the contractor's discretion. Windows with note #4 will need to either be re-set in the opening to fill air gaps or the trim will need to be re-built to cover the air gaps, RE: GSA Guidelines. NOTE: additional damage may have occurred after this drawing set was completed and will require repair e.g. broken glass.
14. **Question:** In alternate #5, verify the new windows are to be wood, double hung, single pane and true divided lite.
Answer: Windows are to be wood, double hung, double pane low-e glass, tempered. Divided lite isn't needed since original windows only have one lite with no muntins.

15. **Question:** Sheet C500, contractor is to run new 1" propane line, advise of material type and if the propane supplier requires anything prior to connection.
Answer: Please see specification section 33 1115. Owner to confirm if anything additional is required by propane supplier.
16. **Question:** Sheet C800, detail J, will the new steel rails be schedule 40 pipe primed and painted or galvanized?
Answer: The new railing will be schedule 40, primed and painted. Paint color to be either XP-1 or XP-A, pending the acceptance of Add Alt #4.
17. **Question:** Sheet C800 and C200 detail I, the out flow notes to be at elevation 990.00. Advise in which direction this is to run from the building and assume it to daylight?
Answer: See additional information added to Addendum #1 Sheet C300.
18. **Question:** Is GC required to include all onsite soils and concrete testing? or will this service be by the Owner?
Answer: Tests and inspections not explicitly assigned to the Owner are the Contractor's responsibility per spec section 01 4000 – 1.9B.
19. **Question:** Clarify the Note and paragraph shown at the building corner describing the slab demo/replacement on sheet S100.
Answer: Engineer has corrected misspelling - 'REMOVE SLAB IN HATCHED AREA AND AS REQUIRED TO INCORPORATE REMOVAL OF ALL DAMAGED CONCRETE SLAB , AND REPLACE WITH 4" CONCRETE SLAB ON GRADE REINFORCED W/#3 AT 16" OC EACH WAY. DRILL AND EMBED 4" INTO EXISTING SLAB WITH SIMPSON AT ADHESIVE". Note is intended to remove all damaged concrete slab in hatched area and any adjacent as needed for repairs.
20. **Question:** Sheet A002, need to know if occupancy sign shown is to be standard acrylic type or specialty type, no specs.
Answer: Standard acrylic sign is acceptable, white sign with black text, approximately 7" x 5".
21. **Question:** Sheet A600, the door schedule does not specify if new doors are to be 1 3/8" or 1 3/4" thickness, please advise.
Answer: Door thicknesses will need to be field verified to coordinate with existing frames. Doors are available in 1-3/8", 1-3/4", and 2-1/4" sizes. Thickness may vary if needed to match existing corresponding frames.
22. **Question:** Verify if all new door glazing is to be tempered or only that above 18" from ff?
Answer: All new door glazing is to be tempered.
23. **Question:** Can superior aluminum products be utilized as an equal to the SR-1 note on sheet A601?
Answer: Superior Aluminum Products Stock Railing and Series 9000 are approved. Railing will need to extend beyond top and bottom stair treads to meet ADA requirements. See Addendum #1 Sheet A101.
24. **Question:** Will refinished wood floors be natural or stained?
Answer: Stain and Seal to be WS-1, RE: A601.

25. **Question:** Verify 6" fire protection entry shown on sheet FP001 and 4" shown on P101 is not accurate.

Answer: No fire protection entry will be required. These notes may be deleted. The fire suppression system is self-contained.

26. **Question:** Advise if temporary chainlink construction fencing around the construction site will be required.

Answer: Yes, fencing will be required around the project work area, while still allowing visitors access to the road in front of the courthouse accessing the springhouse.

27. **Question:** Advise if any raceways will be included for IT, CCTV or Security by others?

Answer: No additional raceways will be required for these items.

End of Bidder Questions



CHEROKEE NATION

SALINE COURTHOUSE RESTORATION

ALLOWANCES

ALLOWANCES	DESCRIPTION
1. EXTERIOR WOOD SIDING	PROVIDE ALLOWANCE OF \$5,000 FOR REPLACEMENT OF EXTERIOR WOOD SIDING.

ALTERNATES

ADD ALTERNATES	DESCRIPTION
1. 2ND FLOOR RESTROOM	ADD ALTERNATE #1 TO BE THE INCLUSION OF THE 2ND FLOOR RESTROOM WITH ITS REQUISITE FINISHES, PLUMBING FIXTURES AND PIPING, RESTROOM ACCESSORIES, DOOR HARDWARE, AND WINDOW TREATMENTS AND HARDWARE. BASE BID TO INCLUDE FINISHES AND HARDWARE AS INDICATED ON THE APPLIED FINISH LEGEND AND SHEETS A102 & A400. UNLESS NOTED OTHERWISE, ALL MECHANICAL AND ELECTRICAL TO BE INSTALLED WITH BASE BID.
2. TERMITE PROTECTION	ADD ALTERNATE #2 TO BE THE PROVISION OF TERMITE PROTECTION PER SPECIFICATION SECTION 31 3116.
3. CRAWL SPACE INSULATION	ADD ALTERNATE #3 TO BE THE PROVISION OF CRAWL SPACE INSULATION PER SPECIFICATION SECTION 07 2100 AND AS SHOWN IN DETAIL 2(A)101.
4. EXTERIOR PAINT	ADD ALTERNATE #4 TO BE THE INCLUSION OF XP-A FOR ALL EXTERIOR WOOD SIDING, DOORS, WINDOW AND DOOR TRIM, COLUMNS, HANDRAILS, SOFFITS AND EAVES. PRIOR TO PAINTING, ALL WOOD SIDING AND WOOD TRIM JOINTS ARE TO BE SEALED TO PROTECT THE BUILDING ENVELOPE FROM WATER INTRUSION.
5. WINDOWS & TRIM	ADD ALTERNATE #5 TO BE THE REMOVAL AND REPLACEMENT OF ALL WINDOWS AND ASSOCIATED EXTERIOR AND INTERIOR WINDOW TRIM AS INDICATED ON THE APPLIED FINISH LEGEND. INCLUDE FLASHING AS REQUIRED.

BID SET
02.23.18

ARCHITECT:
1Architecture, LLC
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PH. 918.764.9996

SHEET INDEX

COVER	COVER SHEET
G000	
CIVIL	GENERAL NOTES
C100	EROSION CONTROL
C101	SITE PLAN
C200	GRADING/LAYOUT PLAN
C300	UTILITY PLAN
C500	DETAILS
C800	
SURVEY SHEET 1	
SURVEY SHEET 2	
SURVEY SHEET 3	
SURVEY SHEET 4	
SURVEY SHEET 5	
SURVEY SHEET 6	
STRUCTURAL	GENERAL NOTES
S001	SPECIAL INSPECTIONS
S100	FOUNDATION PLAN
S101	FLOOR FRAMING PLAN
S501	DETAILS
ARCHITECTURAL	ABBREVIATIONS & SYMBOLS
A001	LIFE SAFETY
A002	TYPICAL MOUNTING HEIGHTS & PARTITION TYPES
A003	TYPICAL MOUNTING HEIGHTS AND DIMENSION CONVENTIONS
A004	TYPICAL RULES FOR RCPS & SPRINKLERS
A005	DEMO FLOOR PLAN - LEVEL 1
D101	DEMO FLOOR PLAN - LEVEL 2
D102	FLOOR PLAN - LEVEL 1
A101	FLOOR PLAN - LEVEL 2
A102	REFLECTED CEILING PLAN - LEVEL 1
A103	REFLECTED CEILING PLAN - LEVEL 2
A104	EXTERIOR ELEVATIONS
A200	ENLARGED PLANS AND ELEVATIONS
A400	DETAILS
A500	DOOR SCHEDULE AND DETAILS
A600	ROOM FINISH SCHEDULE & LEGEND
A601	
FIRE PROTECTION	FIRE PROTECTION REFLECTED CEILING PLAN
FP001	
PLUMBING	PLUMBING NOTES AND DETAILS
P001	PLUMBING WASTE AND VENT PLANS
P100	PLUMBING SUPPLY PLAN
P101	PLUMBING AXONOMETRIC
P102	PLUMBING SCHEDULES
P200	
MECHANICAL	MECHANICAL NOTES AND DETAILS
M001	HVAC PLAN
M100	HVAC PLAN
M101	MECHANICAL AXONOMETRIC
M102	MECHANICAL AXONOMETRIC
M103	MECHANICAL SCHEDULES
M200	
ELECTRICAL	ELECTRICAL NOTES AND LEGEND
E001	LIGHTING PLANS
E100	POWER PLANS
E200	SYSTEM PLANS
E300	ELECTRICAL ONE-LINE AND PANELBOARDS
E400	ELECTRICAL DETAILS
E500	



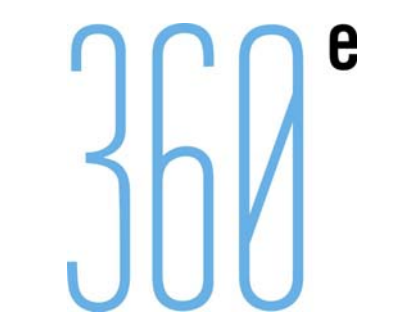
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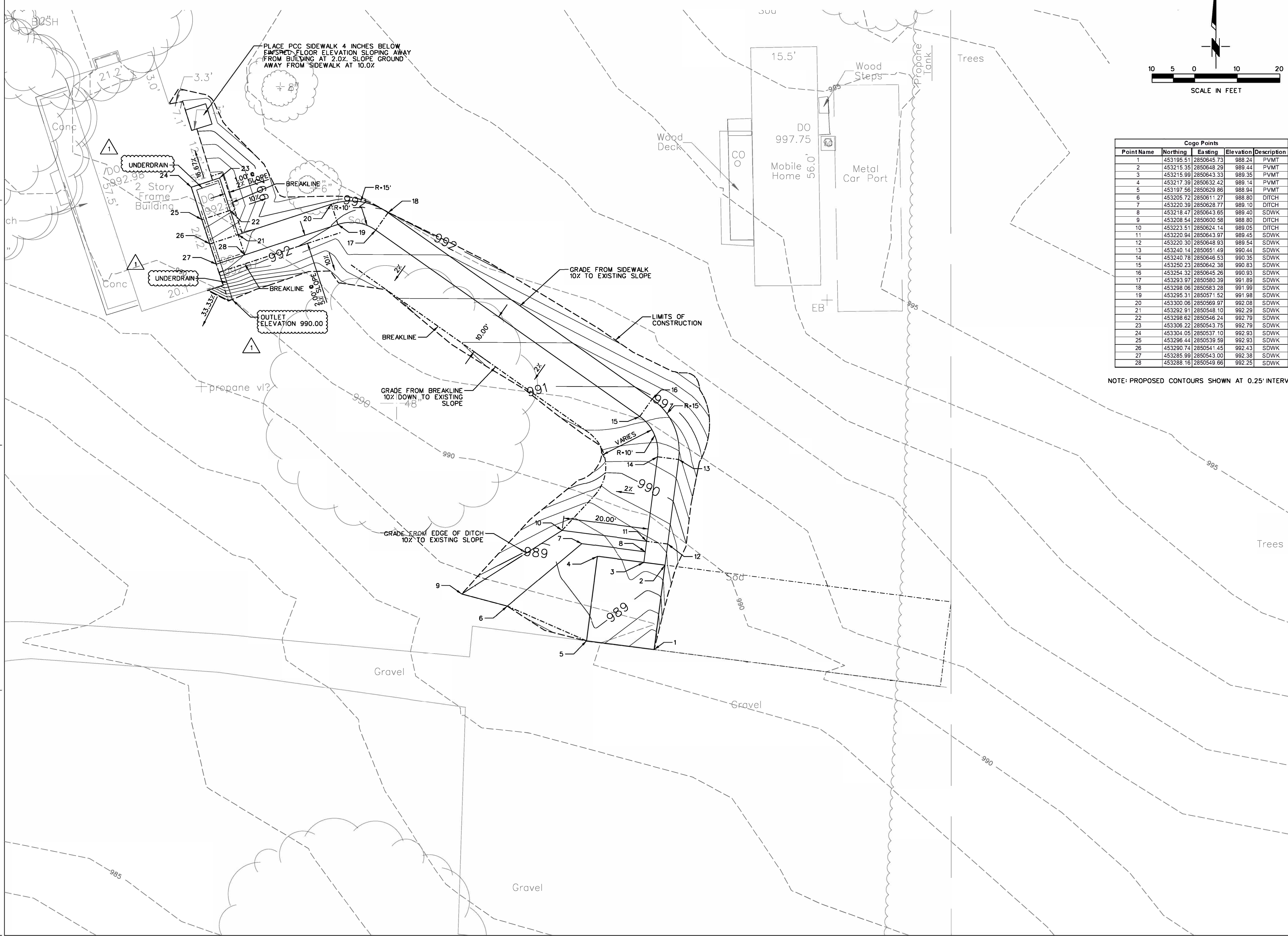


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1836 S. Baltimore Avenue
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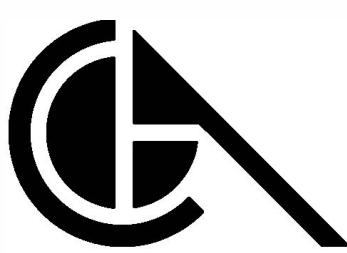


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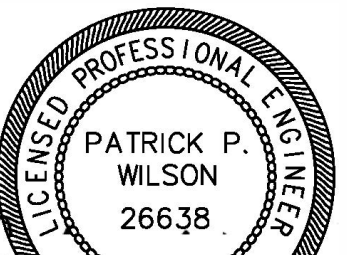




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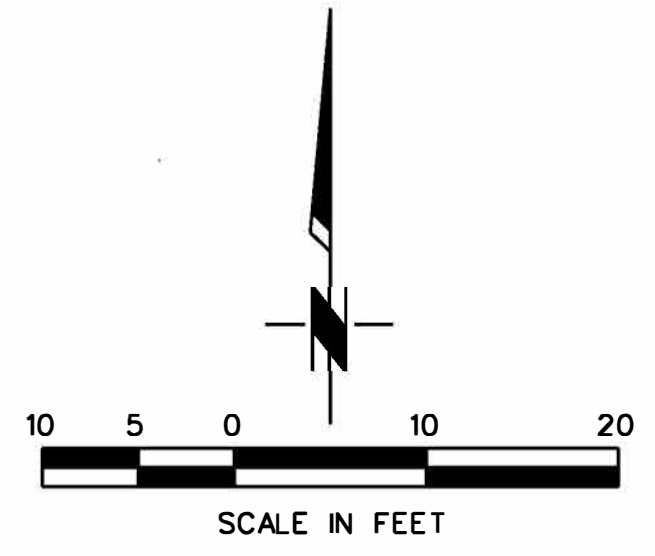


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 C.A. NO: 1371
 EXPIRES: 6/30/18



Patrick P. Wilson
 4/20/18

KEY PLAN:



Cogo Points				
Point Name	Northing	Easting	Elevation	Description
1	453195.51	2850645.73	988.24	PVMT
2	453215.35	2850648.29	989.44	PVMT
3	453215.99	2850643.33	989.35	PVMT
4	453217.39	2850632.42	989.14	PVMT
5	453197.56	2850629.86	988.94	PVMT
6	453205.72	2850811.27	988.80	DITCH
7	453220.39	2850628.77	989.10	DITCH
8	453218.47	2850643.65	989.40	SDWK
9	453208.54	2850600.58	988.80	DITCH
10	453223.51	2850624.14	989.05	DITCH
11	453220.94	2850643.97	989.45	SDWK
12	453220.30	2850648.93	989.54	SDWK
13	453240.14	2850651.49	990.44	SDWK
14	453240.78	2850646.53	990.35	SDWK
15	453250.23	2850642.38	990.83	SDWK
16	453254.32	2850645.26	990.93	SDWK
17	453293.97	2850580.39	991.89	SDWK
18	453298.06	2850583.28	991.99	SDWK
19	453295.31	2850571.52	991.98	SDWK
20	453300.06	2850569.97	992.08	SDWK
21	453292.91	2850548.10	992.29	SDWK
22	453298.62	2850546.24	992.79	SDWK
23	453306.22	2850543.75	992.79	SDWK
24	453304.05	2850537.10	992.93	SDWK
25	453296.44	2850539.59	992.93	SDWK
26	453290.74	2850541.45	992.43	SDWK
27	453285.99	2850543.00	992.38	SDWK
28	453288.16	2850549.66	992.25	SDWK

NOTE: PROPOSED CONTOURS SHOWN AT 0.25' INTERVAL

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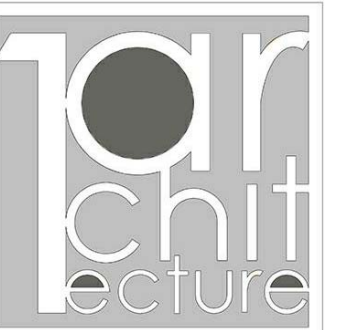
**CHEROKEE NATION
 SALINE COURTHOUSE
 RESTORATION**
 ROSE, OK. 74364

NO.	REVISION	DATE
1	Addendum 1	04.20.18

PROJECT NUMBER:
 1408-018
 ISSUE:
 BID SET
 DATE:
 02.23.18
 DRAWN BY:
 CSK
 CHECKED BY:
 PW
 SHEET TITLE:

**GRADING/LAYOUT
 PLAN**

C300



1Architecture, LLC
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SHEET NOTES:

- ① INFILL FLOOR AT PREVIOUS CHASE LOCATION TO MATCH ADJACENT FLOOR ELEVATION AND FINISH
- ② INFILL FLOOR TO MATCH ADJACENT WOOD FLOOR ELEVATION AND FINISH
- ③ RESTORE MISSING HAND RAIL COMPONENTS TO MATCH EXISTING ADJACENT
- ④ ADD MISSING TRIM AS REQUIRED TO MATCH ADJACENT EXISTING, RE: SHEET A500
- ⑤ COVER PREVIOUS WALL LOCATION WITH 1 x TRIM, WIDTH AS REQUIRED, RE: REFLECTED CEILING PLAN
- ⑥ REVISE DOOR TRIM TO MATCH EXISTING 1ST FLOOR TRIM, RE: A500
- ⑦ REVISE WINDOW TRIM TO MATCH EXISTING 1ST FLOOR TRIM, RE: A500
- ⑧ NEW R1 WALL TO TERMINATE AT HORIZONTAL/FLAT PORTION OF STAIR LANDING ABOVE
- ⑨ REPLACE/ADD EXISTING 1X TRIM, WIDTH AS REQUIRED, TO COVER WALL JOINT, RE: REFLECTED CEILING PLAN
- ⑩ ADD WOOD REDUCER TRANSITION STRIP TO MATCH EXISTING OVER FULL LENGTH OF FLOOR ELEVATION CHANGE
- ⑪ REFINISH WOOD FLOORS RE: SPECIFICATIONS AND APPLIED FINISH LEGEND
- ⑫ PREP WALLS AND CEILING FOR PAINT, RE: SPECIFICATIONS AND APPLIED FINISH LEGEND
- ⑬ ADD BASE TRIM TO MATCH FIRST FLOOR, RE: A500
- ⑭ ADD PLUMBING FIXTURES AND ACCESSORIES FOR ADD ALTERNATE.
- ⑮ REPLACE WINDOW, INTERIOR WINDOW TRIM AND EXTERIOR WINDOW TRIM. TYPICAL ALL WINDOWS, RE: APPLIED FINISH LEGEND.

FLOOR PLAN LEGEND

- ① KEY NOTE
- 1 KEY NOTE (ADD ALTERNATE)
- - - DASHED INDICATES OWNER PROVIDED ITEM
- - - EXTENT OF NEW GYPSUM BOARD FINISH



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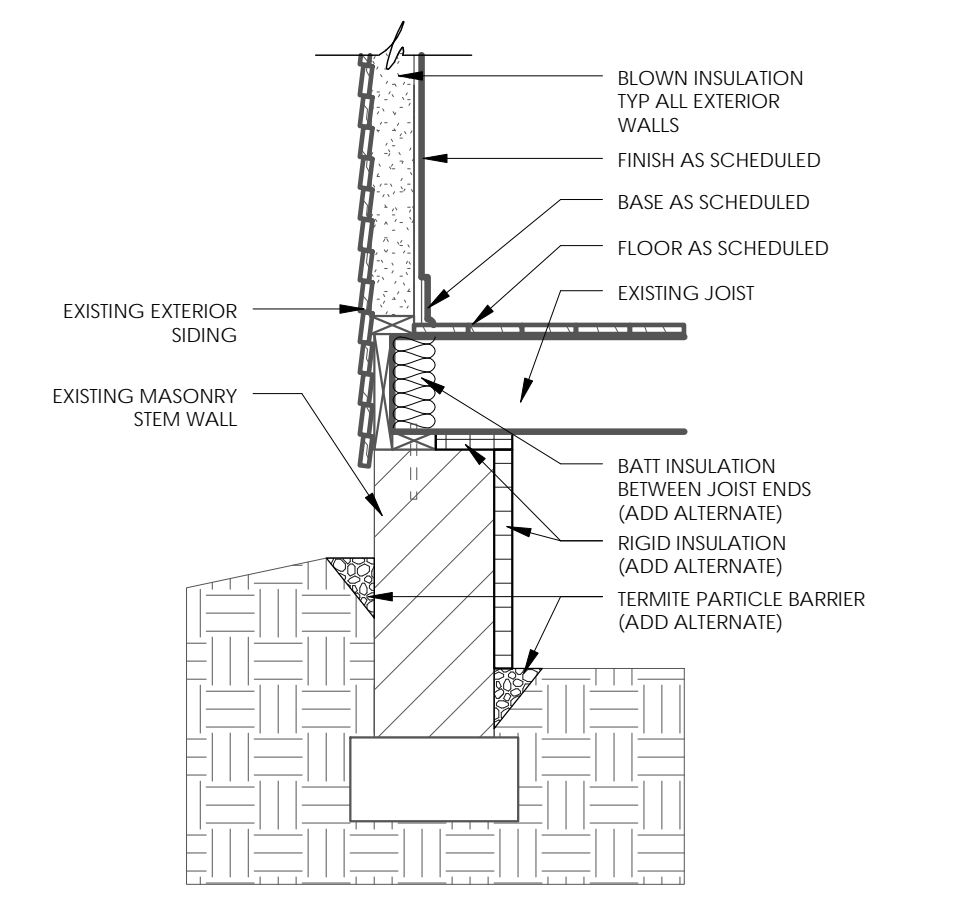
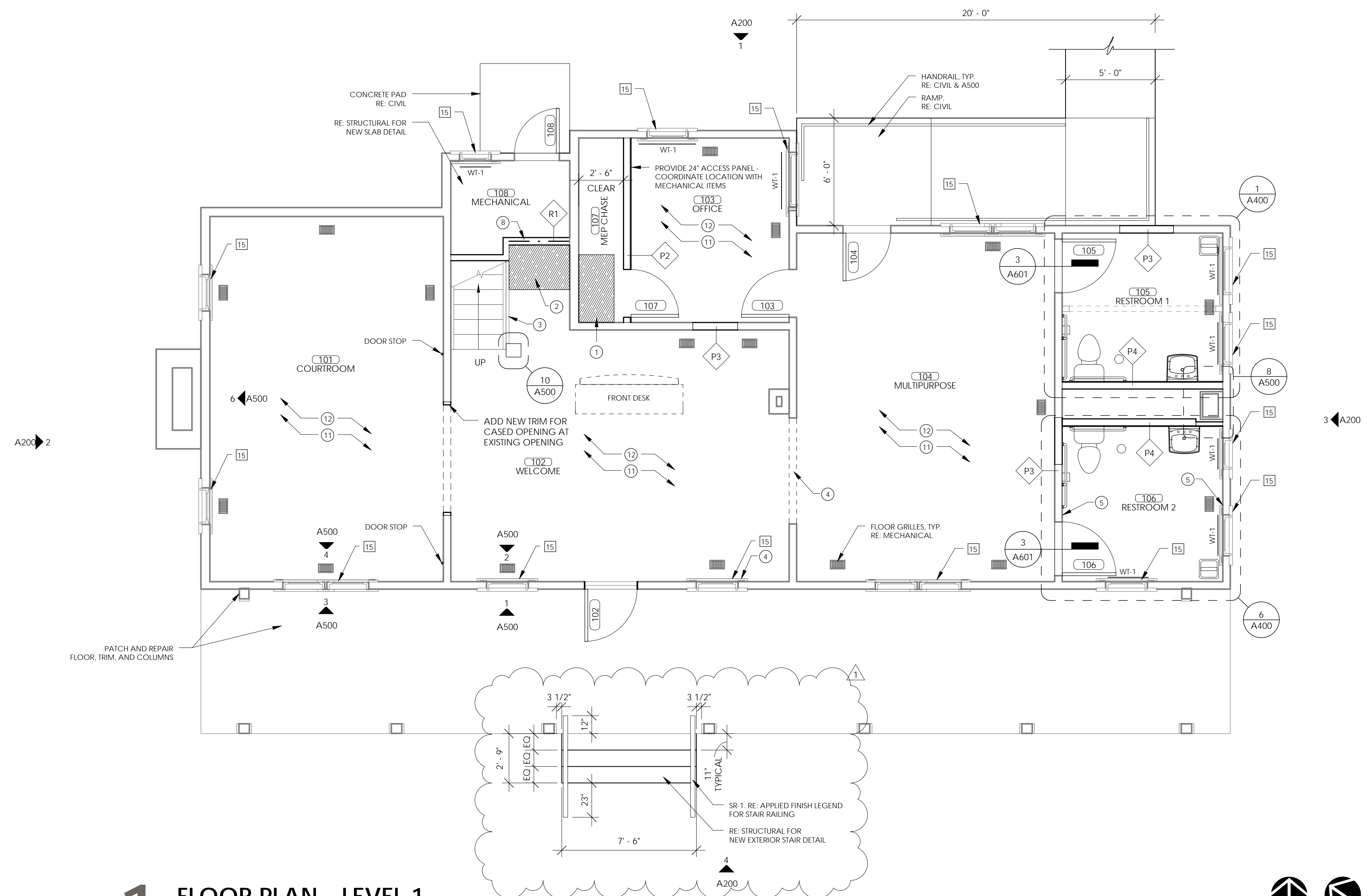
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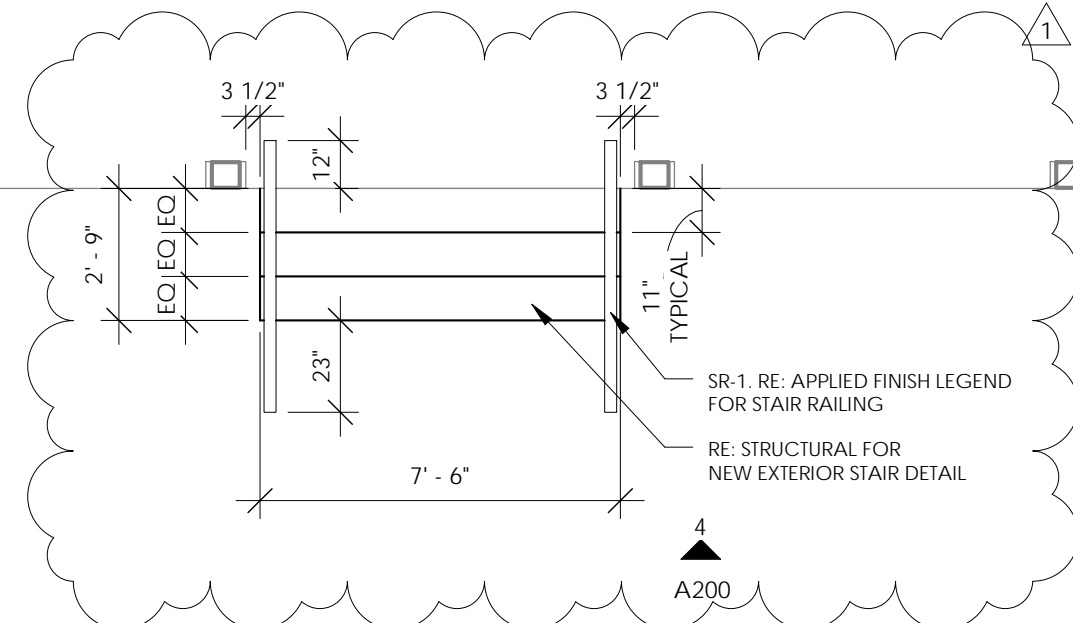
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1408-018
ISSUE:
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DATE:
02.23.18
DRAWN BY:
GS/MV
CHECKED BY:
ML
SHEET TITLE:

FLOOR PLAN - LEVEL 1

A101



2 INSULATION DETAIL (ALT 3)
3/4" = 1'-0"



1 FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

