

Site #1

Adair County

470711 E. 723 Rd.
Westville, OK 74965
918-574-1700
918-790-5249

Legal Description:

A tract of land in the W2 SW4 SE4 Section 9 T17N R25E, Adair Co., OK, 2.14 acres, m/l.

Directions to Site:

Westville, Caseys, HWY 62 West 5.5 miles, turn left on 723 Rd, property on left by gray trailer before white house.

NOTES:

Electric---Ozarks Electric, 800-521-6144
Water---Adair Co. RWD #5, 918-723-4785
Electric/water NW corner. Current active accounts to transfer to new construction.
Need utility easements.
Asphalt section line road.

35.960496 -94.645499

Unit address: 470731 E. 723. Rd, Westville, OK 74965
Unit #: 75544

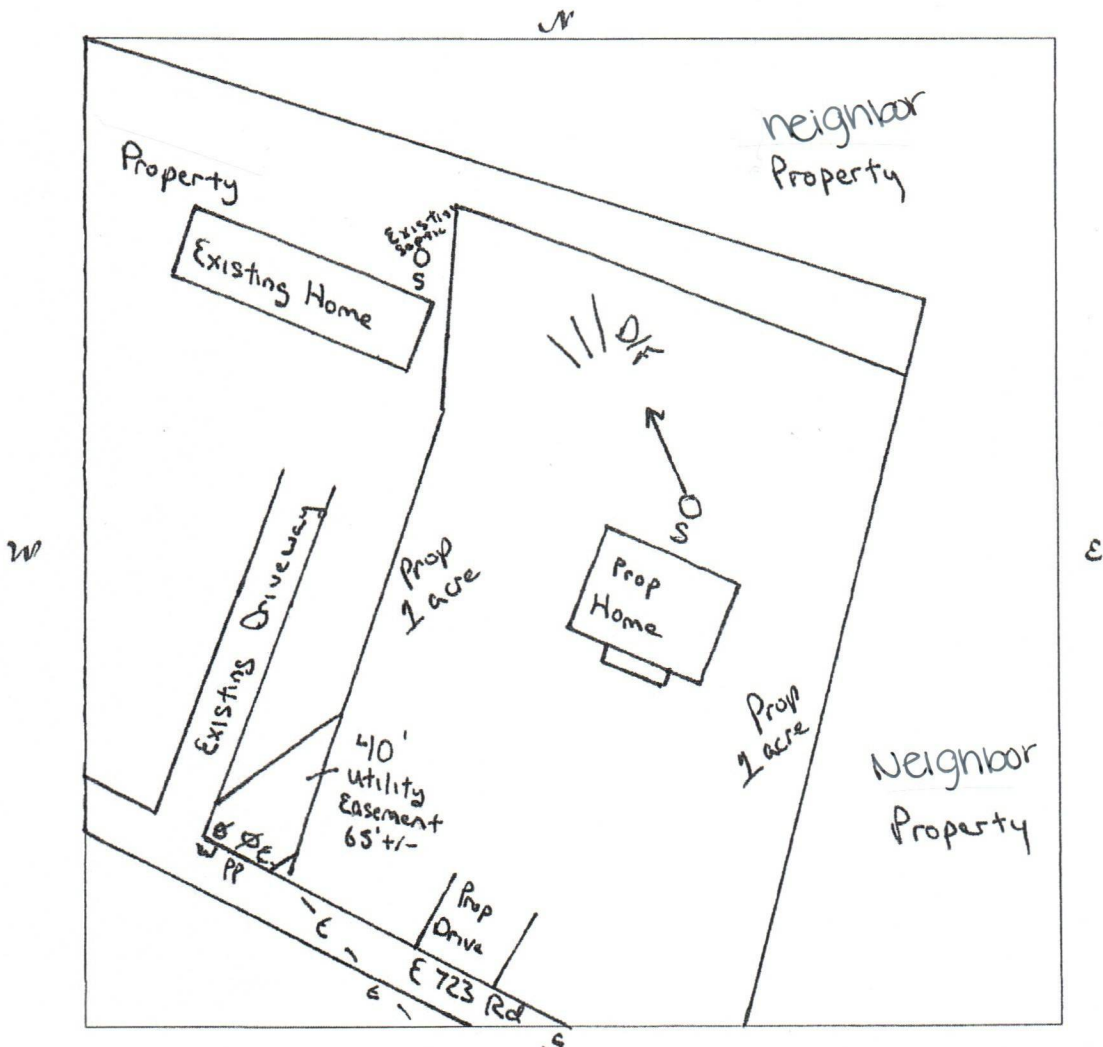
4 bedroom

GABLE ROOF

SITE INFORMATION

Site #1
Name of Resident

Ad Co.
County



Access to site from: county X, state _____, private _____ road; asphalt X, gravel _____, none _____. Access Easement needed N/A, Utility Easement needed Need.

Electric On Site, septic/sewer Need, waterline On Site, existing well Rural Water

GPS Coordinates: Long 35.960496 Lat -94.645499

Single Close: Yes No Existing Structure Maintained
(circle one) (circle one)

Notes: Proposed 1 acre with 40' utility easement 65'+/-.
Owner property connects to an asphalt County maintained road
Flat open yard that slopes downward at north end of property
All utilities on site. Need new septic

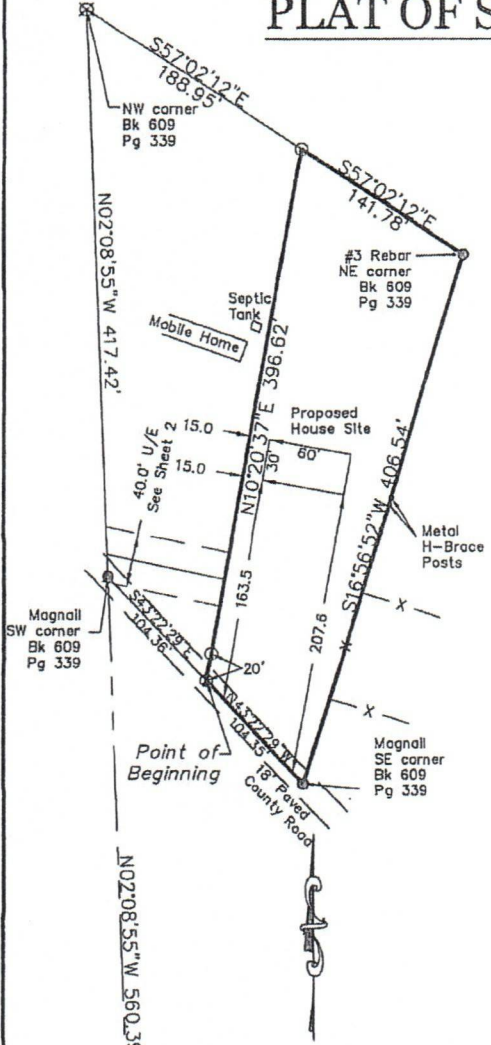
Inspected by: Josh Tannehill
Print name & initial

2/26/26
Date

LEGEND		⊕ Power Pole
— E — E —	R/W	□ Stone Monument
Electric Line	Right-of-Way Line	△ Brass Cap
-----	-----	○ Set #3 Rebar w/cap
Easement Line	Section Line	⊙ Existing Monument (As Labeled)
— X — X —	-----	⊗ Set Magnail w/shiner
Fence Line	10 Acre/40 Acre Line	⊠ Calculated Point

Location Map Scale: 1"=3000'
 Adair County, Okla.
 Section 9
 Township 17 North
 Range 25 East

PLAT OF SURVEY



Legal Description
 A 1.02-acre parcel of land, more or less, less public road right of ways and being subject to any easements of record, being situated in a part of the W/2 SW/4 SE/4 of Section 9, Township 17 North, Range 25 East of the Indian Base and Meridian, Adair County Oklahoma. The described parcel being created by Kelly Osburn, Oklahoma P.L.S. #1628 on April 9, 2026. The basis of bearing for the described parcel is N02°08'55"W between found monuments along the West line of said W/2 SW/4 SE/4 of Said Section 9 as described in Book 609, Page 339 is more particularly described as:
 Commencing at an existing stone marking the SW Corner of said W/2 SW/4 SE/4; thence along the West line thereof N02°08'55"W 560.39 feet to an existing mag nail in the center of an existing county road, said point being the SW corner of said Book 609, Page 339; thence along said South line thereof S43°22'29"E 104.36 feet to a set mag nail w/shiner for the point of beginning; thence N10°20'37"E 396.62 feet to a set #3 rebar w/cap on the North line of said Book 609, Page 339; thence along said North line S57°02'12"E 141.78 feet to an existing #3 rebar w/cap marking the NE Corner of said Book 60, Page 339; thence along the East line thereof S16°56'52"W 406.54 feet to an existing mag nail in the center of the existing county road, said point being the SE corner of said Book 609, Page 339; thence along the South line thereof N43°22'29"W 104.35 feet to the point of beginning.

I, Kelly Osburn, Oklahoma Professional Land Surveyor, No. 1628, do hereby certify that the plat hereon correctly represents a survey made on-the-ground under my supervision, and that this survey is based on existing county records and existing survey monuments available at the time of this survey and that the survey and plat hereon was made for the client or clients so named per this plat, pursuant to clients request and for clients' specific use and benefits only. No responsibility is assumed herein or hereby to the future landowners or occupants. This survey meets the requirements of the Oklahoma Minimum Standards. Certificate of Authorization, No. 5391. Expires 6/30/27.

SURVEYOR'S NOTE: This Survey was done to create a new legal description and to mark the corners of that description on the ground. To show observed structures and utilities if any. Utilities located, if any, are from above ground inspection. The surveyor makes no guarantee that the utilities shown compromise all utilities on the property. This survey was done for the client or clients agent named on this plat. No title search was done and record ownership, rights-of-way of road and easements to and across this property must be confirmed by others. Any building setbacks, Lot restrictions or covenants not shown are the responsibility of the land owner. The buyer or owner of this property should satisfy themselves as to the correct owner through a title search or review by an attorney.

- The Surveyor reserves the right to change the opinion of this survey if any relevant evidence is brought forth in the future.
- Fences located, if any, are located from the fence corners only. Any meandering of fence line has not been located.

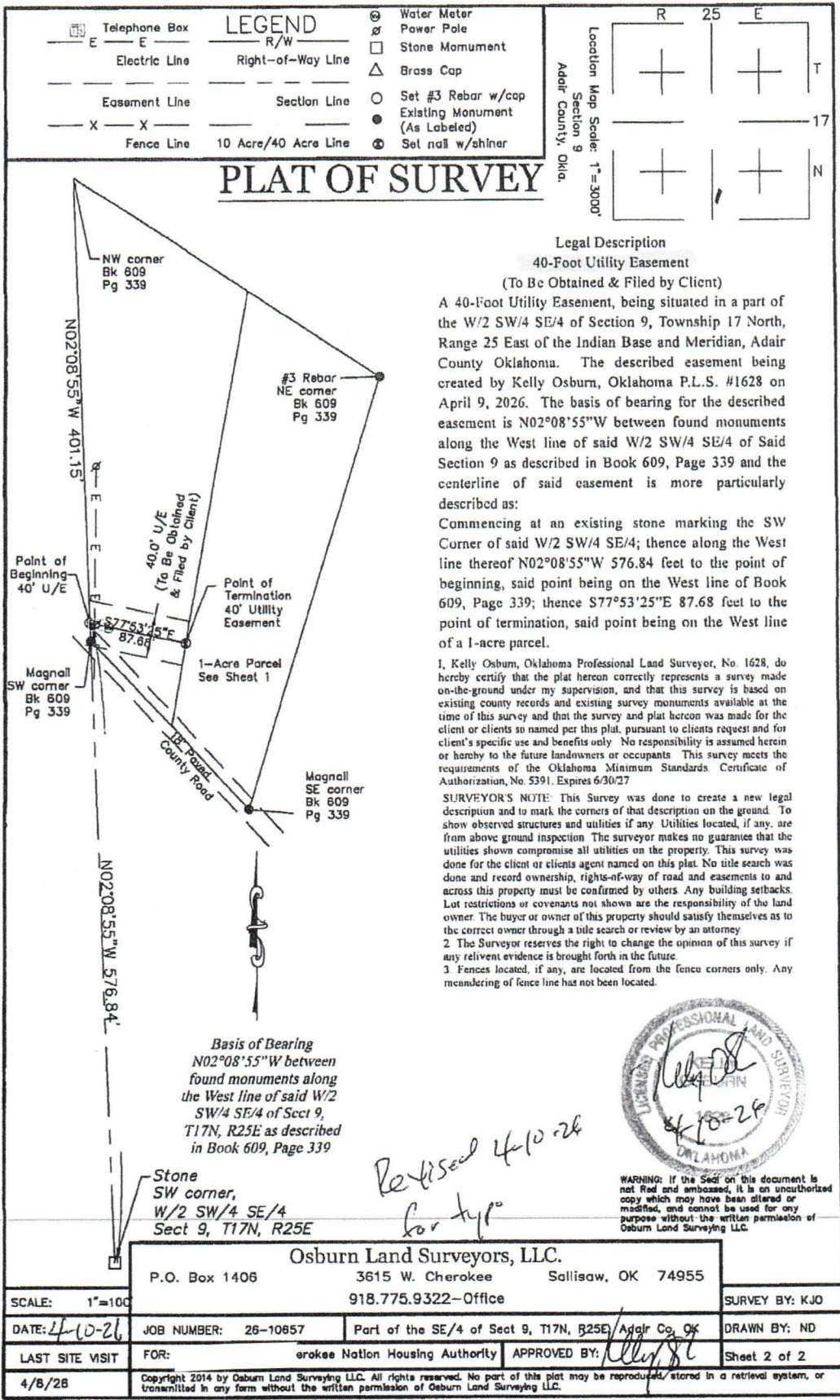
Basis of Bearing
 N02°08'55"W between found monuments along the West line of said W/2 SW/4 SE/4 of Sect 9, T17N, R25E as described in Book 609, Page 339



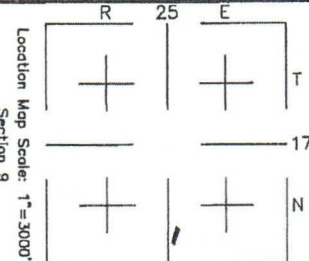
WARNING: If the Seal on this document is not Red and embossed, it is an unauthorized copy which may have been altered or modified, and cannot be used for any purpose without the written permission of Osburn Land Surveying LLC.

Stone SW corner, W/2 SW/4 SE/4 Sect 9, T17N, R25E

Osburn Land Surveyors, LLC. P.O. Box 1406 3615 W. Cherokee Sallisaw, OK 74955 918.775.9322—Office		SURVEY BY: KJO
SCALE: 1"=100'	DATE: 4/8/26	JOB NUMBER: 26-10657
LAST SITE VISIT: 4/8/26	FOR: Cherokee Nation Housing Authority	APPROVED BY: [Signature]
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LEGEND	
	Telephone Box
	Electric Line
	Easement Line
	Fence Line
	Right-of-Way Line
	Section Line
	10 Acre/40 Acre Line
	Water Meter
	Power Pole
	Stone Monument
	Brass Cap
	Set #3 Rebar w/cap
	Existing Monument (As Labeled)
	Set nail w/shiner



PLAT OF SURVEY

Legal Description

40-Foot Utility Easement
(To Be Obtained & Filed by Client)

A 40-Foot Utility Easement, being situated in a part of the W/2 SW/4 SE/4 of Section 9, Township 17 North, Range 25 East of the Indian Base and Meridian, Adair County Oklahoma. The described easement being created by Kelly Osburn, Oklahoma P.L.S. #1628 on April 9, 2026. The basis of bearing for the described easement is N02°08'55"W between found monuments along the West line of said W/2 SW/4 SE/4 of Said Section 9 as described in Book 609, Page 339 and the centerline of said easement is more particularly described as:

Commencing at an existing stone marking the SW Corner of said W/2 SW/4 SE/4; thence along the West line thereof N02°08'55"W 576.84 feet to the point of beginning, said point being on the West line of Book 609, Page 339; thence S77°53'25"E 87.68 feet to the point of termination, said point being on the West line of a 1-acre parcel.

I, Kelly Osburn, Oklahoma Professional Land Surveyor, No. 1628, do hereby certify that the plat hereon correctly represents a survey made on-the-ground under my supervision, and that this survey is based on existing county records and existing survey monuments available at the time of this survey and that the survey and plat hereon was made for the client or clients so named per this plat, pursuant to clients request and for client's specific use and benefits only. No responsibility is assumed herein or hereby to the future landowners or occupants. This survey meets the requirements of the Oklahoma Minimum Standards Certificate of Authorization, No. 5391, Expires 6/30/27

SURVEYOR'S NOTE: This Survey was done to create a new legal description and to mark the corners of that description on the ground. To show observed structures and utilities if any. Utilities located, if any, are from above ground inspection. The surveyor makes no guarantee that the utilities shown compromise all utilities on the property. This survey was done for the client or clients agent named on this plat. No title search was done and record ownership, rights-of-way of road and easements to and across this property must be confirmed by others. Any building setbacks, Lot restrictions or covenants not shown are the responsibility of the land owner. The buyer or owner of this property should satisfy themselves as to the correct owner through a title search or review by an attorney.

2. The Surveyor reserves the right to change the opinion of this survey if any relevant evidence is brought forth in the future.

3. Fences located, if any, are located from the fence corners only. Any remainder of fence line has not been located.

*Basis of Bearing
N02°08'55"W between
found monuments along
the West line of said W/2
SW/4 SE/4 of Sect 9,
T17N, R25E as described
in Book 609, Page 339*

*Revised 4-10-26
for typ*



WARNING: If the Seal on this document is not Red and embossed, it is an unauthorized copy which may have been altered or modified, and cannot be used for any purpose without the written permission of Osburn Land Surveying LLC.

Osburn Land Surveyors, LLC.
P.O. Box 1406 3615 W. Cherokee Sallisaw, OK 74955
918.775.9322—Office

SCALE: 1"=100'	SURVEY BY: KJO	
DATE: 4-10-26	JOB NUMBER: 26-10657	Part of the SE/4 of Sect 9, T17N, R25E Adair Co, Ok
LAST SITE VISIT	FOR: Cherokee Nation Housing Authority	APPROVED BY: <i>[Signature]</i>
4/8/26	Copyright 2014 by Osburn Land Surveying LLC. All rights reserved. No part of this plat may be reproduced, stored in a retrieval system, or transmitted in any form without the written permission of Osburn Land Surveying LLC.	

DRAWN BY: ND
Sheet 2 of 2



Housing Authority of the Cherokee Nation

1500 Hensley Drive

P.O. Box 1007

Tahlequah, OK 74465-1007

Phone 918-456-5482

This form is furnished in order to obtain the required utility company information that will furnish the services for your site. You may complete, submit and our office will contact the company to verify services or you may take it to the company, they complete and sign the form.

UTILITY COMPANY INFORMATION FORM

Site #1
Name of Participant

Adair County
County

Electric Company
Ozacks Electric
Name
1220 Williams Ave
Address
Westville, OK 74965
Address
800-521-6144
Phone/Fax/Contact, etc.

2/27/26
VCB
Current account
fees, if available.

Signature, Utility Co. Representative
(if applicable)

Water Company
Adair Co. Rural Water District No. 5
Name
73198 S 4670 Rd
Address
P.O. Box 455 Westville, OK 74965
Address
(918) 723-4785
Phone/Fax/Contact, etc.

Signature, Utility Co. Representative
(if applicable)

NOTES: _____