

Site # 5

Sequoyah County

472071 East 1070 Rd.
Muldrow, OK 74948
479-806-8116 mr
918-571-0498 mrs *CAW 6th*

Legal Description:

SW4 SW4 SW4, less 2 acres, Section 36 T12N R25E, Sequoyah County, OK

Directions to Site:

Muldrow, go North on 64B about 4.5 miles, turn West on Maple Rd, to 9/10 of a mile and on the right, mobile home.

NOTES:

Electric---Cookson Hills Electric, 918-775-2211
Water---Seq. Co. Water Association, 918-775-9672
Electric and water on site. Current residence.
Do not need access and utility easement.
Asphalt county road.

35.46399 -94.6186

Current residence, mobile home, 16x56, ~~16x56~~ **HACN** contractor to demolish.

Unit address: 472071 E. 1070 Rd., Muldrow, OK 74948
Unit #: 75538

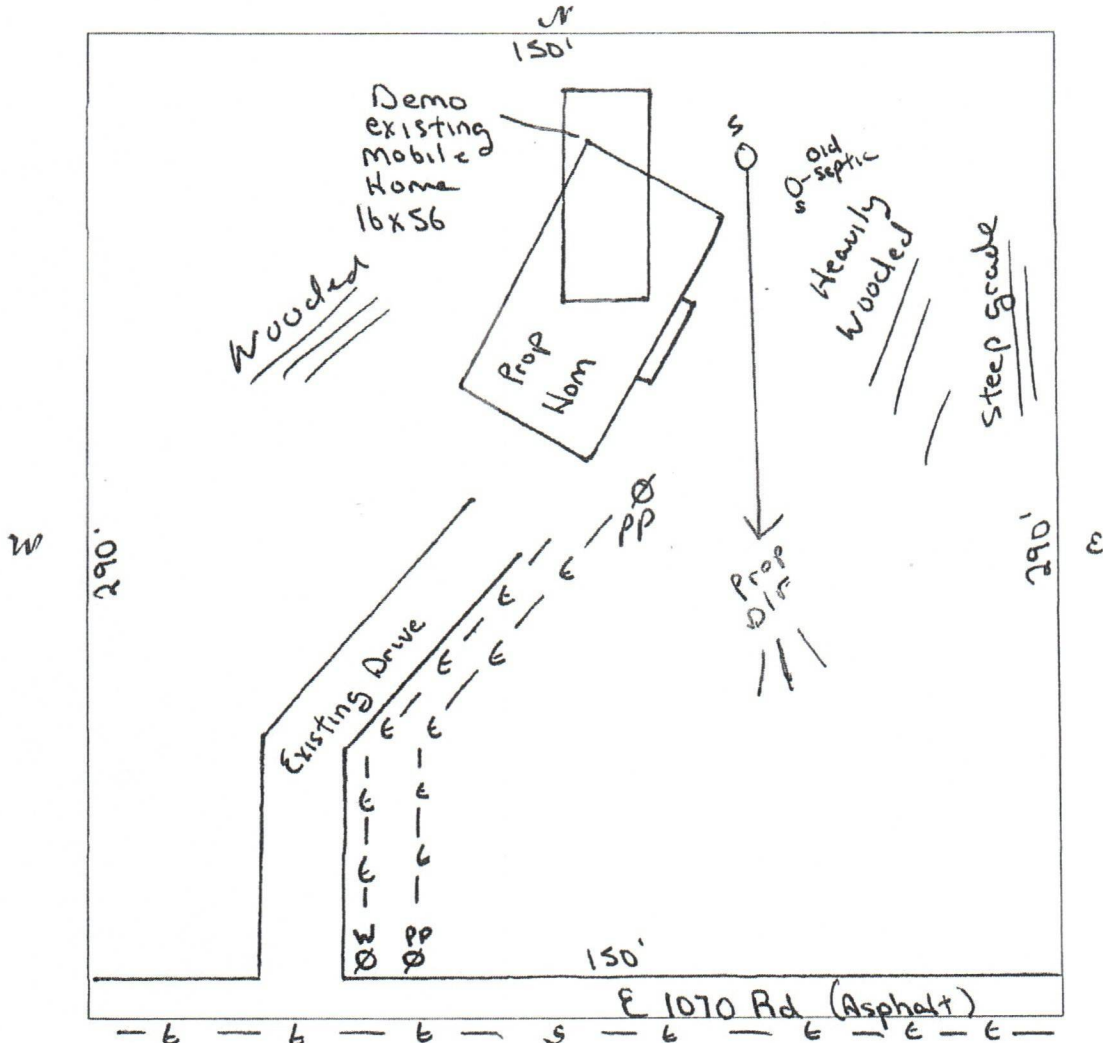
4 bedroom

GABLE ROOF

SITE INFORMATION

Site # 15
Name of Resident _____

Sevier Co.
County



Access to site from: county X, state _____, private _____ road; asphalt X,
 gravel _____, none _____. Access Easement needed N/A, Utility Easement needed N/A.

Electric on site, septic/sewer Need, waterline On Site, existing well Rural Water

GPS Coordinates: Long 35.46399 Lat -94.6186

Single Close: Yes No Existing Structure Maintained
 (circle one) (circle one)

Notes: Prop 1 acre (150' x 290') is in the southwest corner of parent tract. Prop 1 connects to asphalt county road. Electric and rural water on site. Need new septic and old septic decommissioned. Minimal tree removal. Extensive pad work. Demo 16x56 single wide mobile home.

Inspected by: Josh Tannehill
 Print name & initial

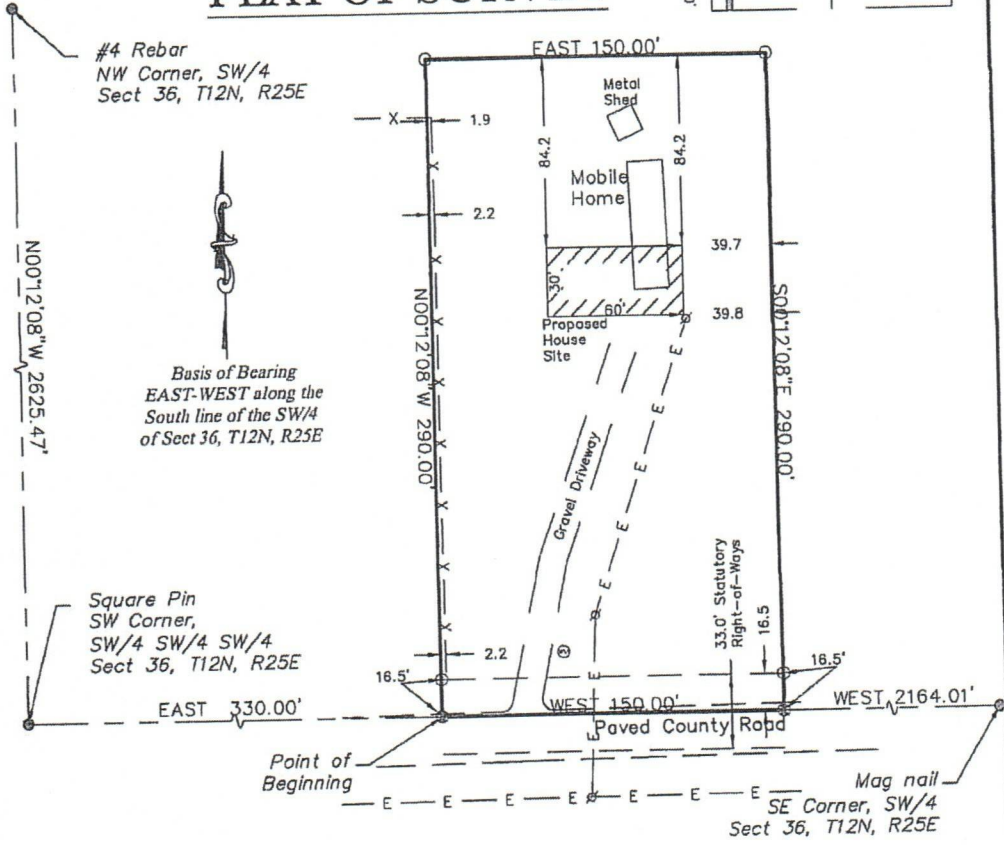
3/13/26
 Date

LEGEND

⊕ Water Meter	— R/W — Right-of-Way Line	☒ Telephone Box
— E — E — Electric Line	— Section Line	☐ Power Pole
— Easement Line	— 10 Acre/40 Acre Line	☐ Stone Monument
— X — X — Fence Line		△ Brass Cap
		○ Set #3 Rebar w/cap
		⊙ Existing Monument (As Labeled)
		⊗ Set Magnail w/shlner

Location Map Scale: 1"=3000'
 Sequoyah County, Okla.
 Section 36

PLAT OF SURVEY



Legal Description

A 1.00-acre parcel of land, more or less, public road right of ways and being subject to any easements of record, being situated in a part of the SW/4 SW/4 SW/4 of Section 36, Township 12 North, Range 25 East of the Indian Base and Meridian, Sequoyah County Oklahoma. The described parcel being created by Kelly Osburn, Oklahoma P.L.S. #1628 on March 31, 2026. The basis of bearing for the described parcel is EAST-WEST along the South line of the SW/4 of said Section 36 and is more particularly described as:
 Commencing at the SW Corner of said SW/4 SW/4 SW/4; thence along the South line thereof EAST 330.00 feet to the point of beginning; thence N00°12'08"W 290.00 feet; thence EAST 150.00 feet to the South line of said SW/4 SW/4 SW/4; thence along said South line WEST 150.00 feet to the point of beginning.



SURVEYORS NOTE: This Survey was done to create a new legal description and to mark the corners of the described parcel on the ground. To those observed structures and utilities if any, Utilities located, if any, are shown above ground inspection. The surveyor makes no guarantee that the utilities shown encompass all utilities on the property. This survey was done for the client or clients agent named on this plat. No title search was done and record ownership, right-of-way of road and easements to and across this property must be confirmed by others. Any building setbacks, lot restrictions or covenants not shown are the responsibility of the land owner. The buyer or owner of this property should satisfy themselves as to the correct owner through a title search or review by an attorney.
 2. The Surveyor reserves the right to change the opinion of this survey if any relevant evidence is brought forth in the future.
 3. Fences located, if any, are located from the fence corners only. Any measuring of fence line has not been located.

WARNING: If the Seal on this document is not Red and embossed, it is an unauthorized copy which may have been altered or modified, and cannot be used for any purpose without the written permission of Osburn Land Surveying LLC.

Osburn Land Surveyors, LLC.	
P.O. Box 1406	3615 W. Cherokee Sallisaw, OK 74955
918.775.9322—Office	
SCALE: 1"=60'	SURVEY BY: PB
DATE: 3/31/26	JOB NUMBER: 26-10641 Part of the SW/4 of Sect 36, T12N, R25E, Sequoyah Co, OK
LAST SITE VISIT	FOR: Cherokee Nation Housing Authority
3/25/26	APPROVED BY: [Signature]
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