

## **DEMOLITION NOTES: LEVELS 5-12**

- REMOVE ALL EXISTING MATERIALS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- 2 WHERE APPLICABLE, LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER.
- 3 SALVAGE AND REUSE ALL SECURITY DEVICES, AUDIO-VISUAL EQUIPMENT, WIRES, AND CABLING. REMOVE AND RELOCATE FIRE EGRESS EQUIPMENT ACCORDING TO NEW DESIGN.
- 4 REMOVE ALL WALLCOVERING WITHIN THE SCOPE AS INDICATED IN PLANS.

MATCH EXISTING WHEREVER POSSIBLE.

- 5 SALVAGE AND REUSE EXISTING ELECTRICAL COMPONENTS AS NEEDED FOR ANY NEW LIGHTING INDICATED IN DOCUMENTS.
- 6 ALL DRAPERY AND SHEER ACCESSORIES AND HARDWARE TO REMAIN. SHEERS TO BE SALVAGED AND REUSED ON LEVELS
- 7 DEMO ALL EXISTING HEADBOARDS ON LEVELS 5-16. ALL EXISTING HEADBOARDS TO REMAIN ON LEVEL 17.
- 8 CONTRACTOR TO COORDINATE WITH OWNER STORAGE OF ALL SALVAGED AND REUSED ITEMS, UNLESS SPECIFICALLY NOTED OTHERWISE OR REQUESTED BY OWNERS.
- 9 PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS. ANY SUCH DAMAGE CAUSED DURING THE COURSE OF THIS WORK WILL BE REPAIRED AT THE CONTRACTORS EXPENSE BEFORE THIS WORK IS CONCLUDED.
- 10 PRIOR TO INTERRUPTING OR OTHERWISE AFFECTING ANY SUCH OPERATING SYSTEM, UTILITY OR SERVICE, CONTRACTOR SHALL CONSULT WITH OWNERS REPRESENTATIVE TO ESTABLISH AN APPROVED SCHEDULE FOR CUT OVER, CUT OFF
- DISRUPTION, OR OTHER CHANGE IN THE OPERATION OF THE AFFECTED SYSTEM, UTILITY OR SERVICE. 11 CONTRACTOR TO FIELD VERIFY ROOM LOCATIONS AND QUANTITIES FOR ALL PRODUCTS, FIXTURES, AND TAKE-OFFS.
- 12 CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF DEMOLISHED MATERIALS.
- 13 ALL QUESTIONS PERTAINING TO THE DEMOLITION OF AN ITEM OR MATERIAL SHALL BE DIRECTED TO THE ARCHITECT/DESIGNER FOR CLARIFICATION.
- 14 CONTRACTOR TO COORDINATE WITH OWNER THE SALVAGE, REUSE, OR DISPOSAL OF ALL EXISTING SIGNAGE/GRAPHICS.
- 15 (NOT USED) 16 (NOT USED)
- 17 ALL EXISTING WINDOW VALANCES TO BE REMOVED TO RECEIVE NEW UPHOLSTERY. CONTRACTOR TO VERIFY QUANTITIES AND LOCATIONS.
- 18 ALL GLASS AND GLASS DOORS AT SHOWERS TO BE REMOVED AND PRESERVED FOR THE DURATION OF WORK SCHEDULED FOR THE SPACE. GLASS AND GLASS DOORS TO BE REINSTALLED AT PREVIOUS LOCATION, AFTER WORK IN SPACE IS
- 19 ALL EXISTING FURNITURE PLASTIC LAMINATE FACES TO BE REMOVED IN ORDER TO RECEIVE NEW PLASTIC LAMINATE ON LEVELS 5-16 IN THE FOLLOWING ROOM TYPES: KING ROOM, DOUBLE QUEEN ROOM, RE: 1/A7.3. CONTRACTOR TO VERIFY LOCATIONS AND COORDINATE WITH ARCHITECT PRIOR TO INSTALLATION.
- 20 ALL EXISTING IT/AV EQUIPMENT TO BE COORDINATED WITH OWNER.
- 21 CONTRACTOR TO COORDINATE THE SALVAGE, REUSE, OR DISPOSAL OF ALL EXISTING WALL-MOUNTED ACCESSORIES.
- 22 DEMO ALL EXISTING CORNER GUARDS IN CORRIDORS, FLOOR LOBBIES, AND ELEVATOR LOBBIES, PATCH AND REPAIR AS REQUIRED. RE: FINISHES GENERAL NOTES.
- $ar{z}$  GUESTROOMS LEVEL 5-14 CARPET BASE TO BE REMOVED AND REINSTALLED FOR WALL COVERING TO BE REMOVED AND REINSTALL CARPET BASE @ EXISTING LOCATIONS AFTER NEW WALL PAINT,

## GENERAL NOTES

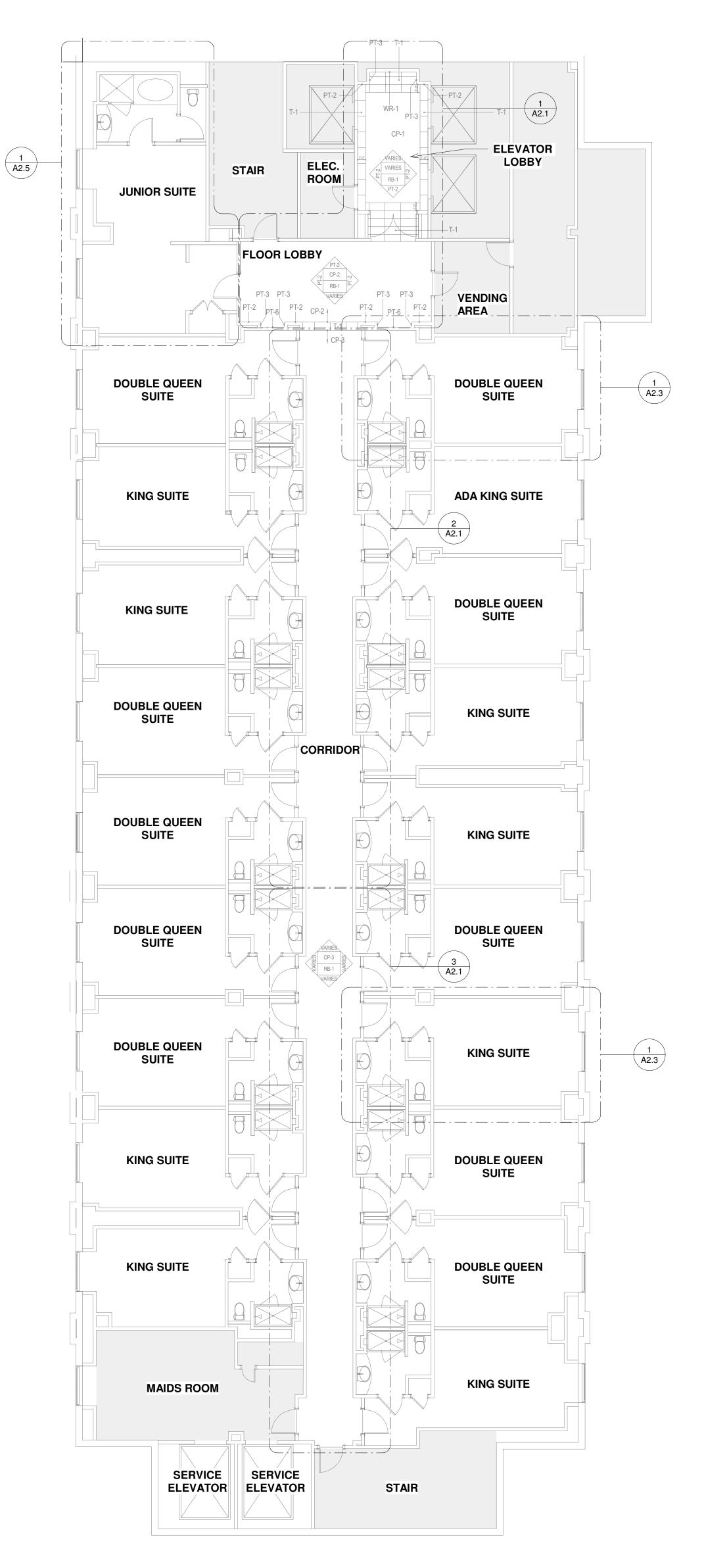
- 1 VERIFY CONDITIONS: THE CONTRACTOR SHALL VERIFY ALL PROJECT-RELATED NEW AND/OR EXISTING CONDITIONS INCLUDING DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK. CONSULT WITH ARCHITECT/DESIGNER IF ANY DISCREPANCIES ARISE. COORDINATE ALL WORK WITH CONTRACT DOCUMENTS.
- WORK SHALL INCLUDE ALL REQUIRED PERMITS, LABOR, MATERIALS, AND EQUIPMENT TO COMPLETE ALL WORK INDICATED ON 3 DRAWINGS AND AS NECESSARY FOR A COMPLETE PROJECT.
- CONTRACTOR TO PATCH, REPAIR, AND PAINT (REFINISH) ALL SURFACES AND BUILDING ELEMENTS DAMAGED BY MECHANICAL, 4 ELECTRICAL, AND PLUMBING WORK AND WHERE ITEMS ARE REMOVED, RELOCATED OR ADDED. ALL SURFACES TO MATCH EXISTING WHERE ITEMS ARE REMOVED OR ALTERED. FIELD VERIFY EXTENTS.
- 5 PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, ETC. WITH APPROVAL OF OWNER REPRESENTATIVE PRIOR TO INSTALLATIONS.
- 6 ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT FINISHES AND CLEANUP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO FINISHED SURFACES, EQUIPMENT, FURNITURE, EXISTING MATERIALS OR FINISHES, CAUSED AS A RESULT OF HIS WORK. REPAIR OR REPLACE DAMAGED ITEMS AS DIRECTED BY ARCHITECT.
- 8 WHERE APPLICABLE, LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH
- EXISTING WHEREVER POSSIBLE. 9 COORDINATE AND VERIFY ALL DIMENSIONS, OPENINGS AND CONDITIONS WITH ELECTRICAL AND ALL OTHER PERTINENT
- DRAWINGS AND TRADES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES AS SOON AS POSSIBLE. 10 (NOT USED)
- 11 THE DRAWINGS & SPECIFICATIONS ARE COMPLIMENTARY DOCUMENTS NEITHER TAKE PRECEDENT OVER THE OTHER. CONFLICTS IN SPECIFICATIONS AND DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. 12 THIS SET OF DRAWINGS INDICATES GENERAL SCOPE OF THE PROJECT. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON

BASIS OF SCOPE INDICATED OR DESCRIBED, CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED

- 13 ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF APPLICABLE LOCAL, STATE AND FEDERAL CODES OR REGULATIONS.
- 14 PROVIDE TREATED WOOD OR METAL BLOCKING BETWEEN STUDS AT MOUNTING LOCATIONS FOR TOILET ACCESSORIES, HANDRAILS, GUARDRAILS, MILLWORK AND OTHER WALL MOUNTED ITEMS.
- 15 PROVIDE ADEQUATE BLOCKING AND ATTACHMENTS FOR CEILING FURRING AND OTHER CEILING MOUNTED ITEMS.
- 16 ALL SUBSTITUTIONS OF MATERIALS AND ASSEMBLIES MUST BE APPROVED BY ARCHITECT IN ACCORDANCE WITH DIVISION 1 SPECIAL CONDITIONS.
- 17 ALL PIPING, DUCTWORK AND CONDUIT TO BE CONCEALED UNLESS NOTED OTHERWISE.

FOR PROPER EXECUTION AND COMPLETION OF THE WORK.

- 18 ALL EXISTING SITE COMPONENTS TO REMAIN AND SHALL BE PROTECTED DURING CONSTRUCTION. ALL DAMAGED SITE COMPONENTS SHALL BE REPAIRED OR REPLACED AT CONTRACTORS EXPENSE.
- 19 CONTRACTOR SHALL MAINTAIN A CLEAN AND SECURE SITE AS REQUIRED IN THE CONTRACT DOCUMENTS.
- 20 FIRE SUPPRESSION BY OWNER. CONTRACTOR TO COORDINATE WITH ARCHITECT.
- 21 VERIFY THE FOLLOWING WITH THE RESPECTIVE TRADES: SIZES AND LOCATIONS FOR BACKING/BLOCKING REQUIRED FOR MOUNTING MILLWORK. AND/OR ELEC. EQUIPMENT, SIZES AND LOCATIONS OF MECH. AND/OR ELEC. PENETRATIONS, CUTTING AND PATCHING FOR WORK REQUIRED BY MECH. AND/OR ELEC.
- 22 (NOT USED)
- 23 EXPOSED ENDS OF ALL PROJECTING ELEMENTS SUCH AS SILLS, LEDGES & SIMILAR COMPONENTS FABRICATED IN METAL, STONE & OTHER MATERIALS SHALL BE FINISHED SAME AS FACE.
- 24 COORDINATE CEILING ACCESS PANELS WITH ARCHITECT.
- 25 (NOT USED)
- 26 CONTRACTOR TO VERIFY ALL MEASUREMENTS IN FIELD. DO NOT SCALE DRAWINGS.
- 27 ALL GRILLS, DIFFUSERS, AND ACCESS PANELS TO BE PAINTED TO MATCH WALL OR CEILING COLOR IN WHICH THEY ARE LOCATED.
- 28 (NOT USED)
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- 30 (NOT USED)
- 31 MOUNTING OF MIRRORS, FIXTURES, ACCESSORIES TO COMPLY WITH ADA ACCESSIBILITY REQUIREMENTS AND CLEARANCES.
- 32 CONTRACTOR TO PROVIDE MOCKUP FOR OWNER/ARCHITECT TO REVIEW FOR THE FOLLOWING TYPICAL SPACES: KING SUITE AND SELECTED SECTION OF THE CORRIDOR. FINAL SELECTION AND LOCATIONS TO BE REVIEWED BY OWNER/ARCHITECT PRIOR
- 33 PRIOR TO WORK ON PROJECT, CONTRACTOR TO DOCUMENT ANY/ALL EXISTING DAMAGE/DEFECTS OF MIRRORS, SHOWER DOORS, SHOWER GLASS, GRANITE COUNTERTOPS, LIGHT FIXTURES, AND ANY OTHER ITEMS TO BE REMOVED & SALVAGED FOR REINSTALLATION AT PREVIOUS EXISTING LOCATIONS. ANY/ALL UNDOCUMENTED EXISTING DAMAGE WILL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE AT OWNER'S DISCRETION. CONTRACTOR TO COORDINATE DOCUMENTATION WITH OWNER'S REPRESENTATIVE, ALONG WITH DOCUMENTATION SCHEDULING.



5 LEVELS 5-12 - FLOOR PLAN



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(918) 576-6700

CHEROKEE NATION **ENTERTAINMENT** 

ADD. 2 11.22.19 12.20.19

LEVEL 5-12 - FLOOR PLAN / DEMOLITION PLAN

CONSTRUCTION DOCUMENTS

111-032.18

As indicated

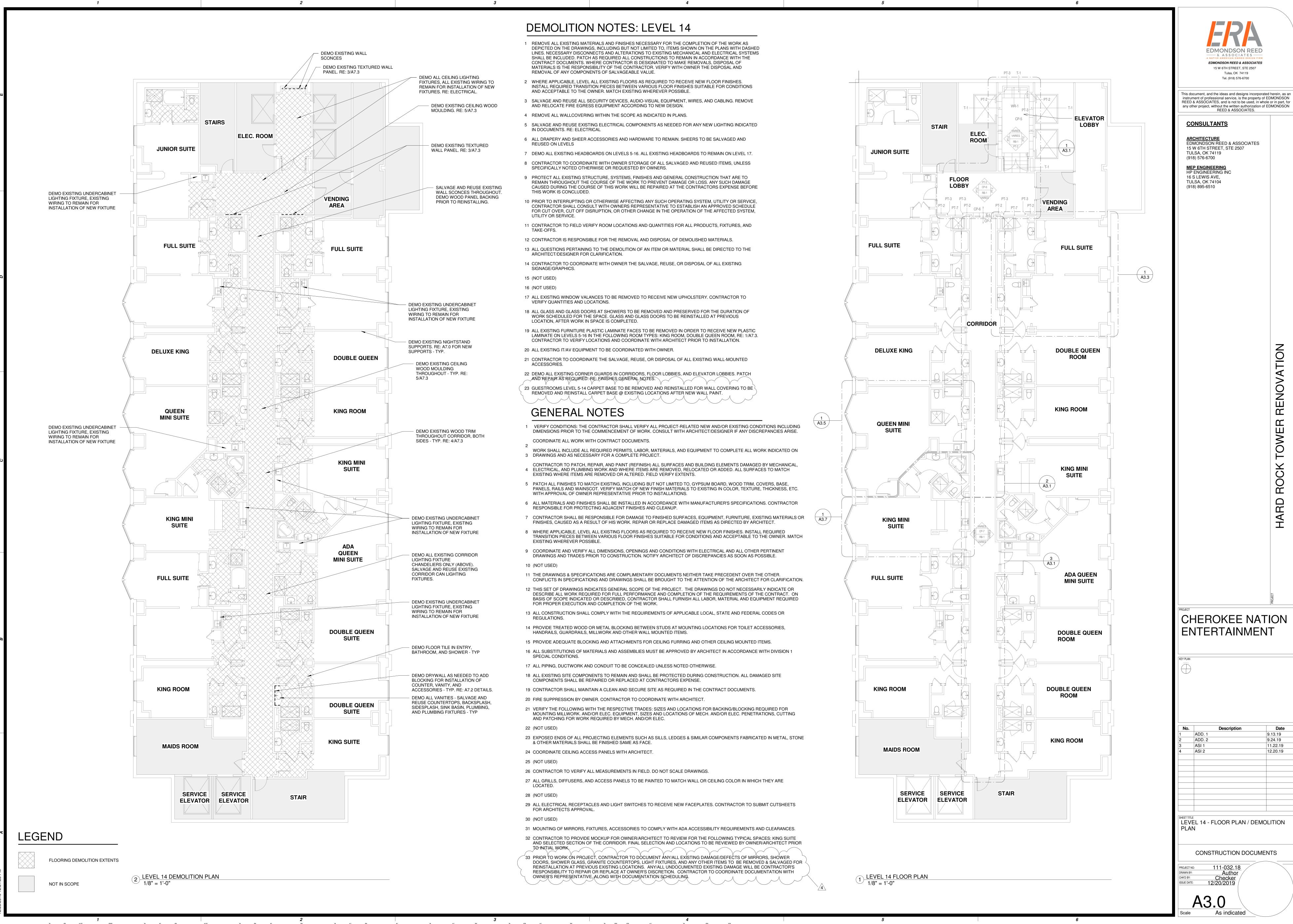
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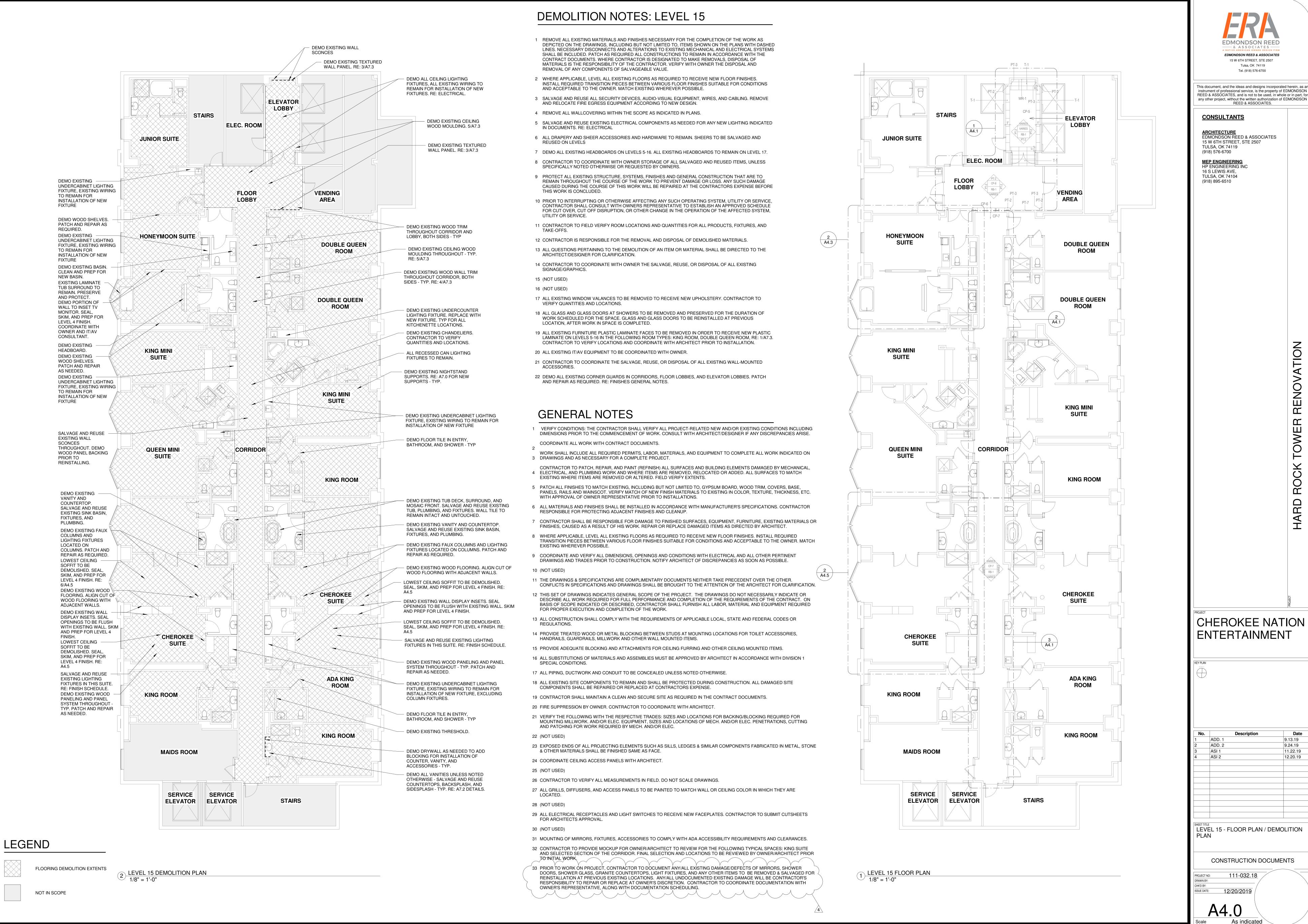
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LEVELS 5-12 - DEMOLITION PLAN

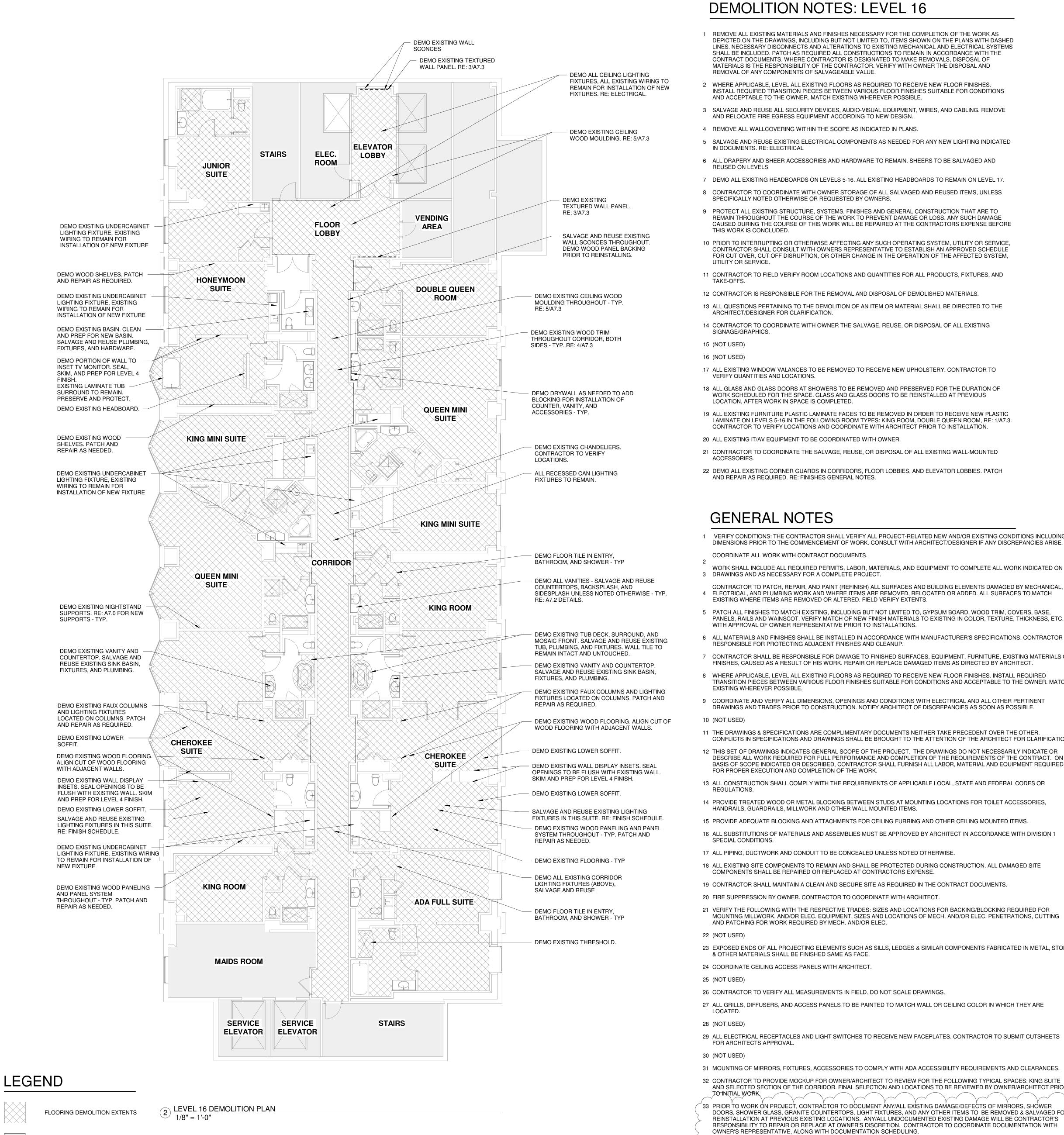
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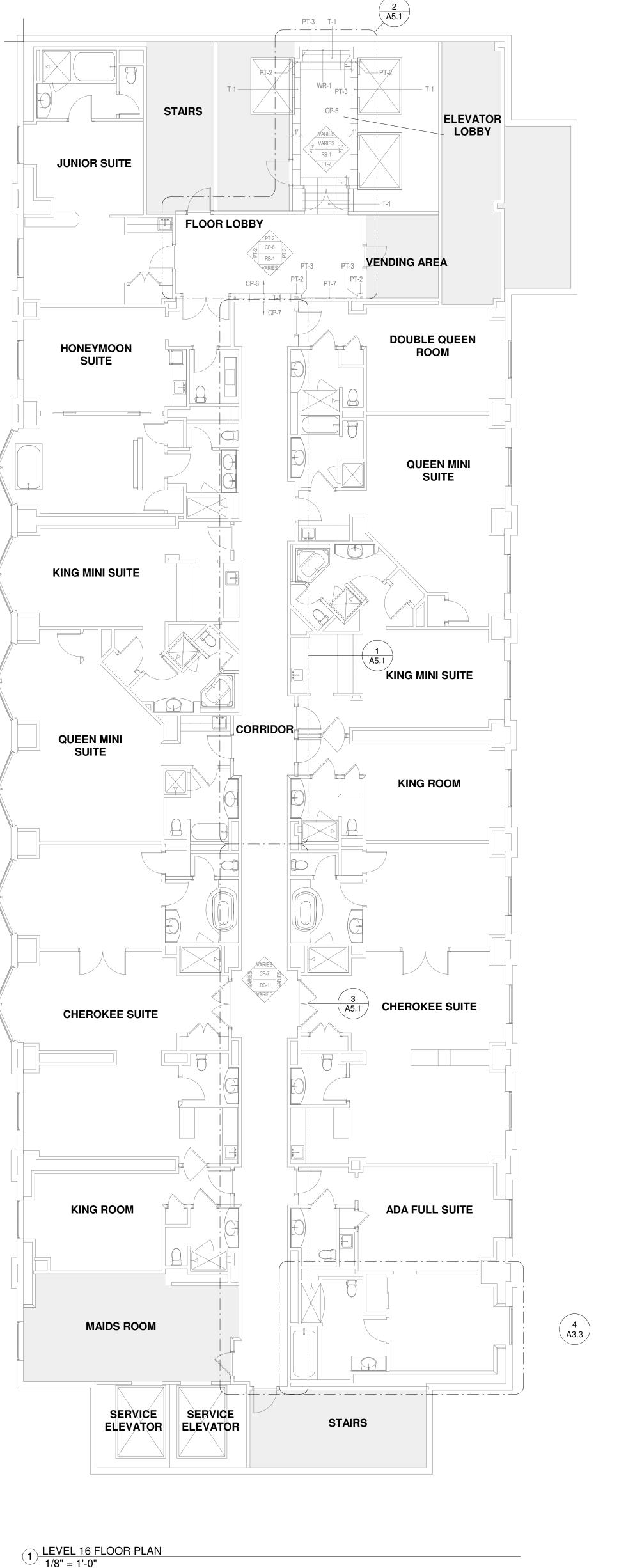


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CHEROKEE NATION **ENTERTAINMENT** 

ADD. 2 11.22.19 12.20.19

LEVEL 16 - FLOOR PLAN / DEMOLITION

CONSTRUCTION DOCUMENTS

As indicated

111-032.18 ISSUE DATE:

NOT IN SCOPE

