



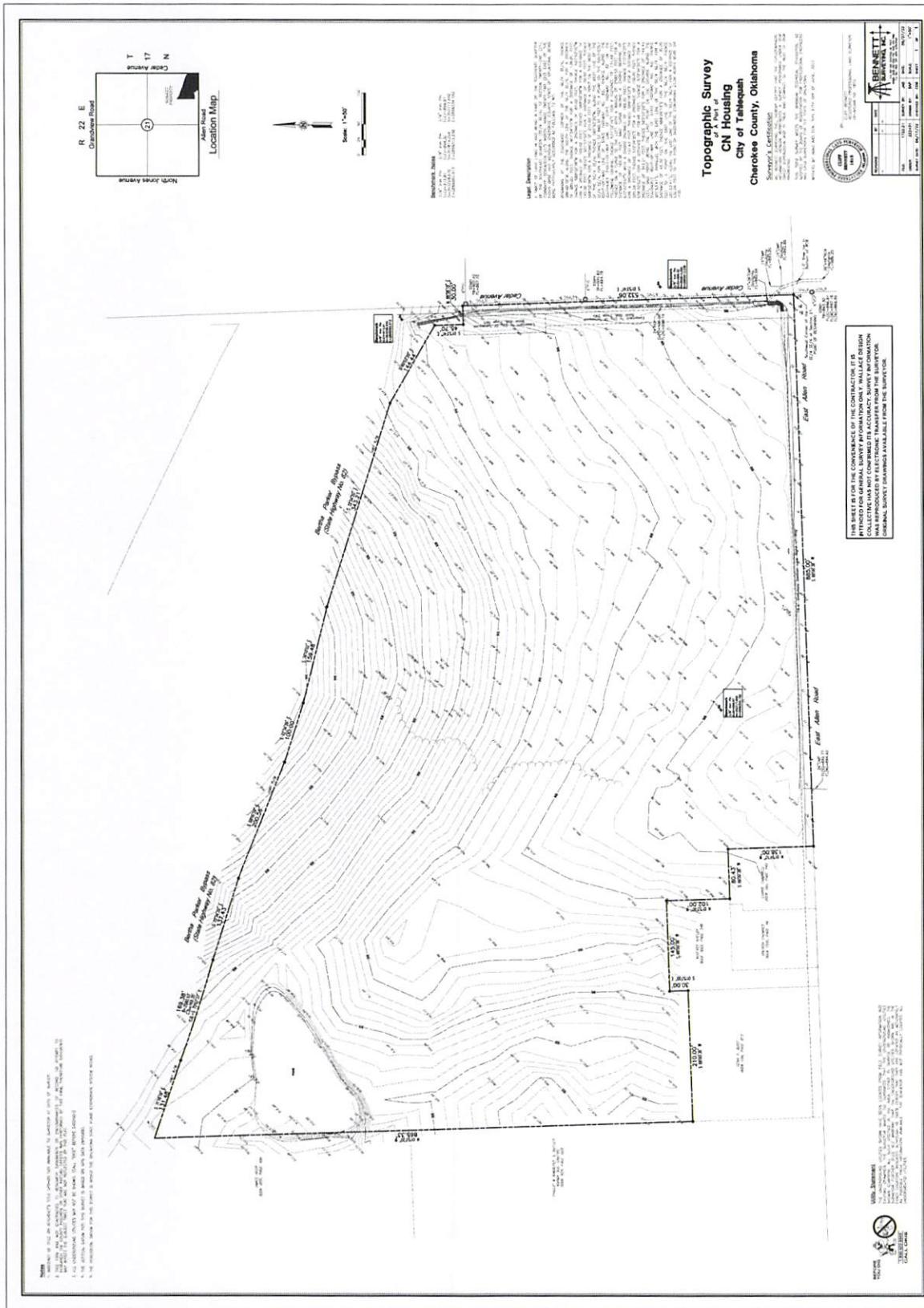
**blue
river**
ARCHITECTS

Architectural Services
Planning Services
Land Development Services

AS TRUSTED ADVISORS TO LANDOWNERS

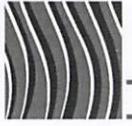
INTERIM REVIEW ONLY

INSTRUCTIONS
TO THE SURVEYOR



SURVEY

C200



**blue
river**
ARCHITECTS
A Native American Owned Firm

INTERIM REVIEW ONLY
THIS DOCUMENT IS FOR INFORMATIONAL PURPOSES ONLY.
DO NOT USE FOR CONSTRUCTION OR OTHER PURPOSES.



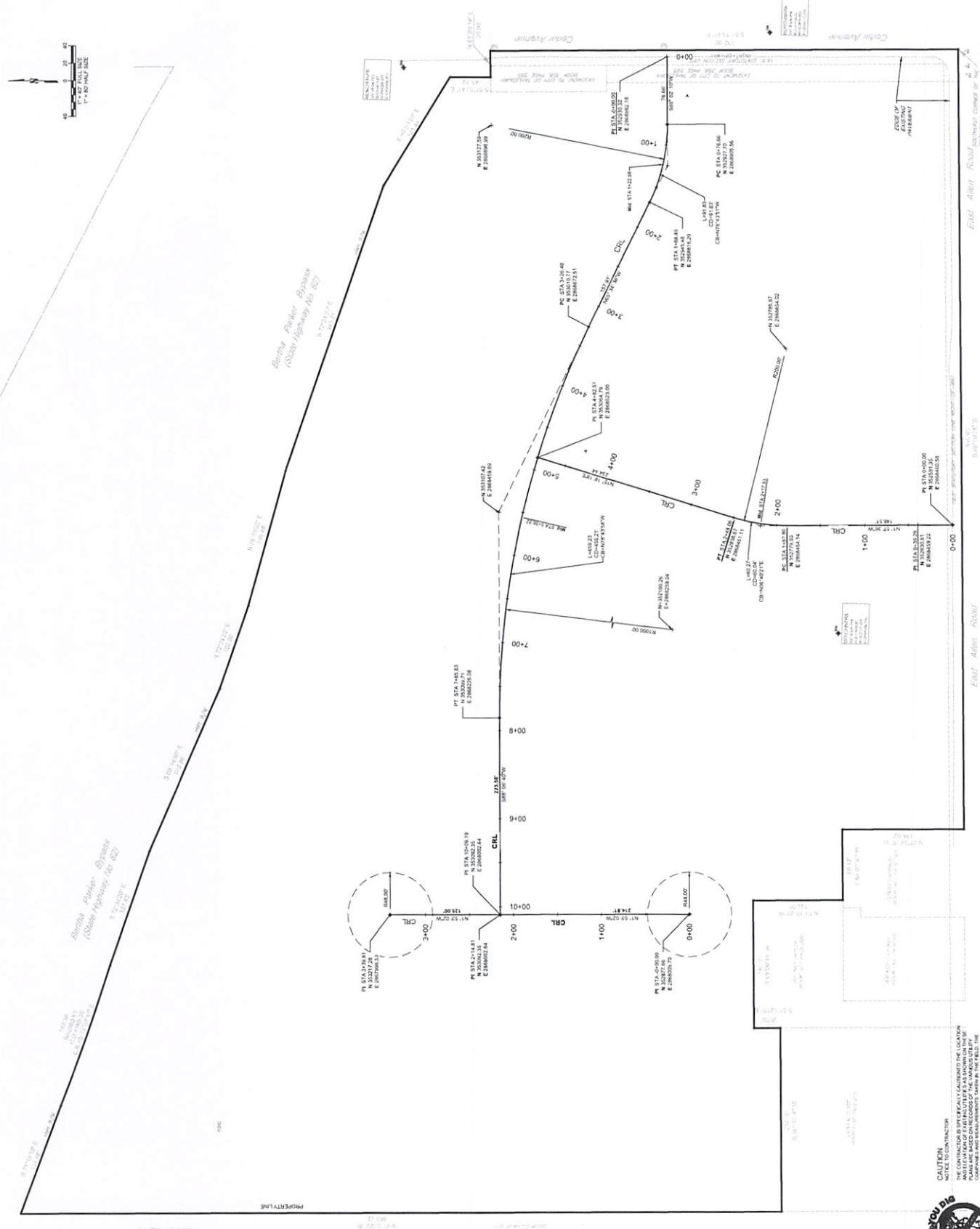
CHEROKEE HOUSEING THALEGEUAH OKLAHOMA

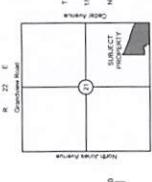
blue river
ARCHITECTS
A Native American Owned Firm

2240219
11/2/2022
95% CONSTRUCTION
DOCUMENTS
SHEET 1 OF 21
SCALE: 1:1000

INTERIM
GEOMETRIC
PLAN

C300





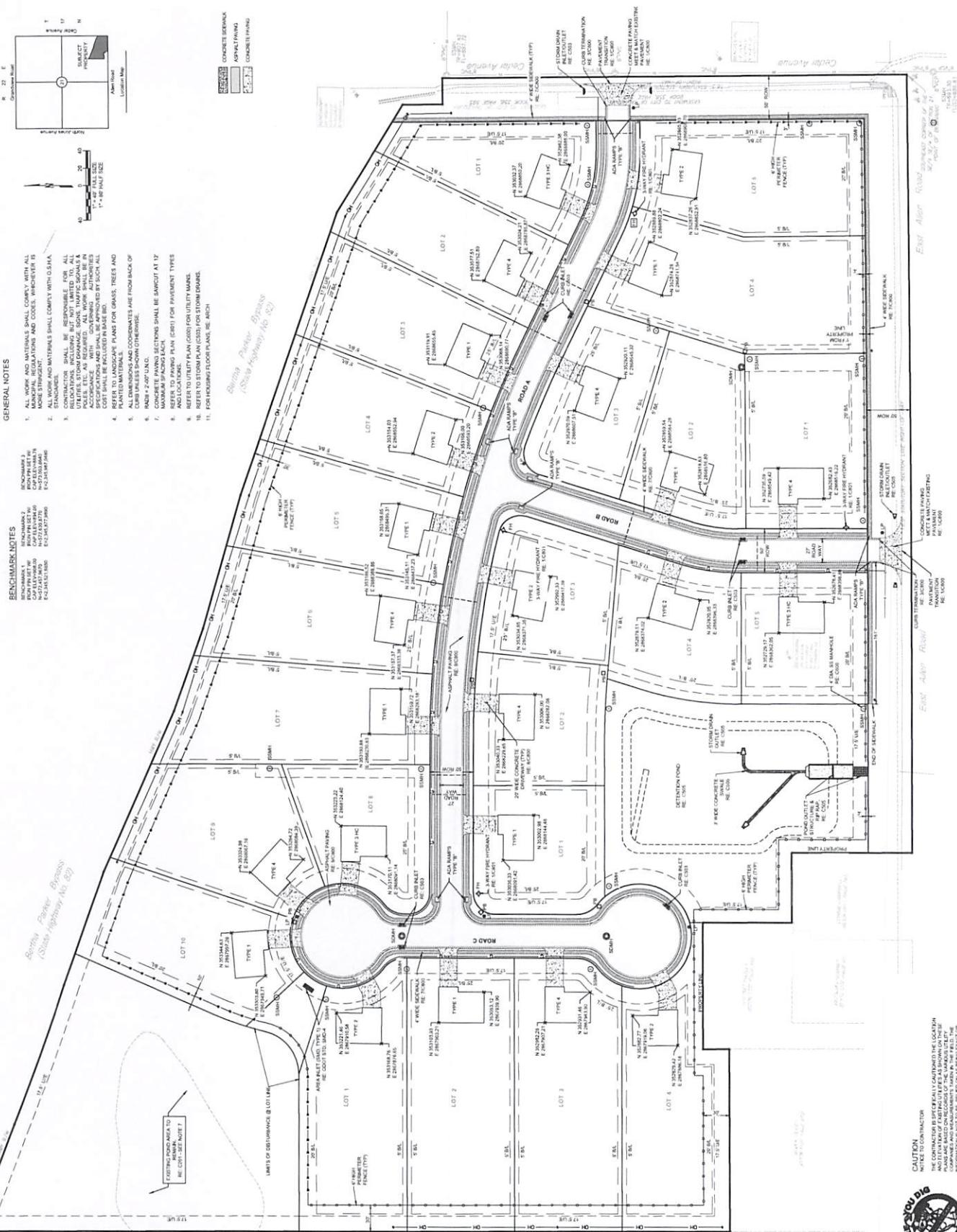
GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL STATE, LOCAL, AND FEDERAL CODES, WHICH ARE MADE STRENGER THAN THE STANDARDS.
2. OWNER IS RESPONSIBLE FOR ALL UTILITIES LOCATED IN THE PROPERTY, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STREET DRAGAGE, SIGNS, TRAFFIC SIGNALS, AND ACCORDING AS AUTHORIZED BY THE APPROPRIATE AUTHORITIES AND OWNERSHIP OF SUCH UTILITIES.
3. REFER TO ENGINEERING DRAWINGS FOR PLACEMENT OF UTILITIES.
4. REFER TO LANDSCAPE PLANS FOR GRASPS, TREES AND Curb/Ramps.
5. ALL DIMENSIONS AND COORDINATES ARE FROM BACK OF CURB LINE (UNLESS OTHERWISE).
6. PAGE 4 - ZONE LINES.
7. REFER TO PAVING PLAN (C-11) FOR PAVEMENT TYPES AND LOCATIONS.
8. REFER TO UTILITY PLANS (G-55) FOR UTILITY LINES.
9. REFER TO STORM PLANS (G-55) FOR STORM DRAINS.
10. FOR HOUSING FLOOR PLANS, SEE ARCH

Benton
Foster
Business
(Street Address/No. 82)

BENCHMARK NOTES

BENCHMARK	DESCRIPTION	PROPERTY SET	LOT	SECTION	LINE	POINT	COORDINATES
BM-1	BUCHANAN 2	PROPERTY SET ONE	LOT 1	SECTION 1	LINE 1	POINT 1	N 352134.83 E 289592.38
BM-2	BUCHANAN 2	PROPERTY SET TWO	LOT 2	SECTION 1	LINE 1	POINT 1	N 352134.83 E 289592.38
BM-3	BUCHANAN 2	PROPERTY SET ONE	LOT 1	SECTION 1	LINE 2	POINT 1	N 352134.83 E 289592.38
BM-4	BUCHANAN 2	PROPERTY SET TWO	LOT 2	SECTION 1	LINE 2	POINT 1	N 352134.83 E 289592.38



CHEROKEE HOMES INC



DO NOT ENTER
CALL 911

CAUTION
NOTICE TO CONTRACTOR
THE COMPANY IS NOT RESPONSIBLE FOR THE LOCATION
OF UTILITIES. PLEASE ACT WITH CARE.
IF YOU HIT AN UNKNOWN PIPE OR LINE, STOP WORK
IMMEDIATELY AND CALL THE LOCAL UTILITY
COMPANY. DO NOT TRY TO FIND OUT WHAT YOU HIT
BY DIGGING OR DRILLING.

DO NOT ENTER

CALL 911



**blue
river**
ARCHITECTS
A New American Urbanism Firm

INTERIM REVIEW ONLY

WOLFGANG
design
collective

TAHLEQUAH OKLAHOMA
CHEROKEE HOUSING

blue river
ARCHITECTS
A New American Urbanism Firm

2240219
11/22/2022
PROJECT DOCUMENTS
SUBDIVISION
LOT 14

GRADING
PLAN

C500

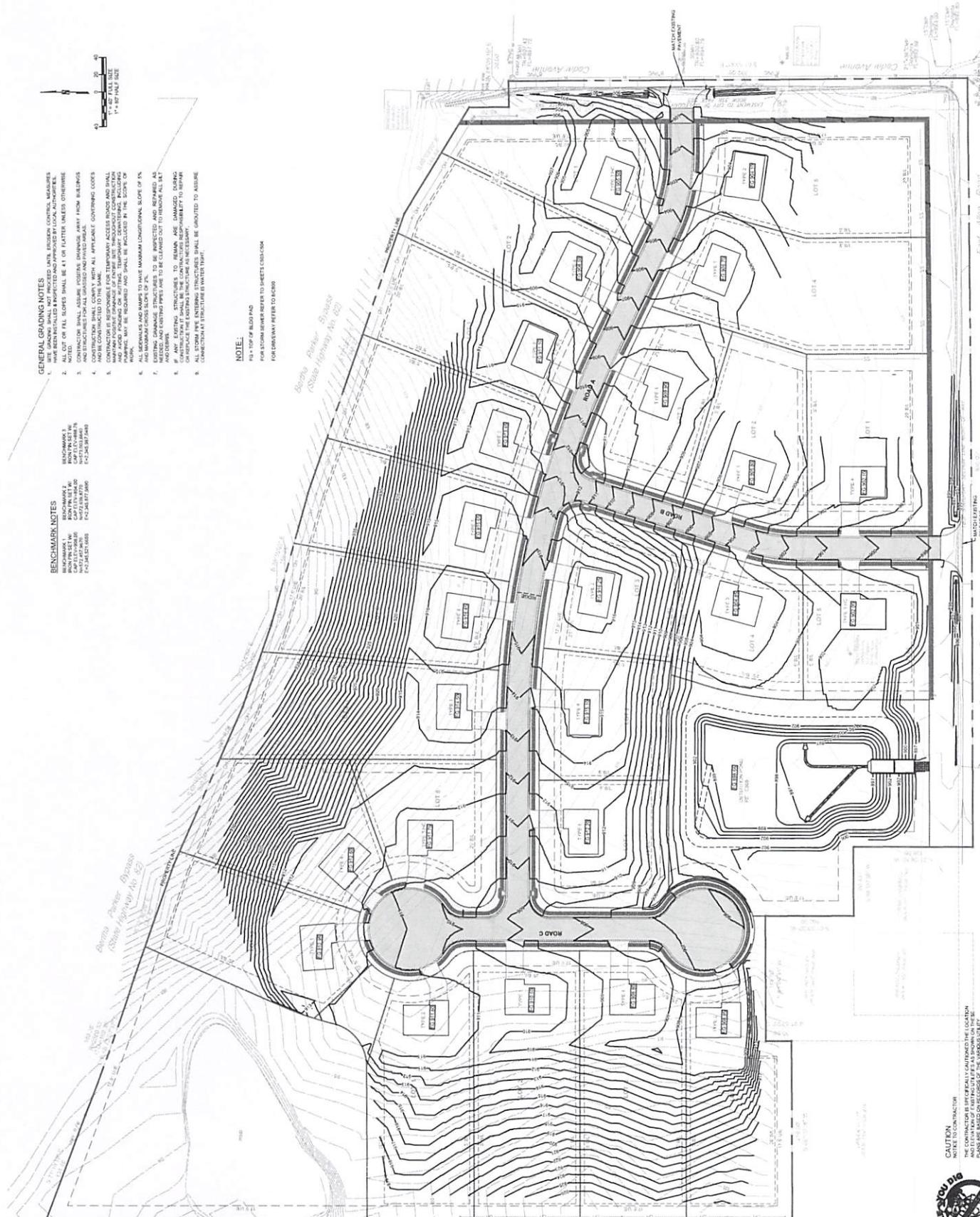
- GENERAL GRADING NOTES**
- ALL GRADED AREAS HAVE BEEN INSTALLED AND APPROVED BY LOCAL AUTHORITIES.
 - ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR SHALL ASSUME COSTS, DELAY AND RISKS FOR ALL BACKFILLS AND STRUCTURES FOR ALL GRADED AND PAVED AREAS.
 - CONSTRUCTION SPILL COVERS, WITH ALL APPROPRIATE GOV'T CODES AND CONTRACTOR'S REQUIREMENTS FOR TEMPORARY ACCESS ROADS AND DRAINS, SHALL BE PROVIDED AND MAINTAINED DURING CONSTRUCTION.
 - MANUFACTURED GRAVEL OR DIRT MUST BE USED AS A BASE FOR ALL GRADED AREAS. GRAVEL OR DIRT MUST BE PLACED IN THE SLOPES OF HOOKS.
 - ALL GRADED AREAS ARE TO HAVE MAXIMUM LONGITUDINAL SLOPES OF 1% AND MAXIMUM TRANSVERSE SLOPES OF 1%.
 - EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NECESSARY.
 - IF ANY EXISTING STRUCTURES ARE DAMAGED DURING CONSTRUCTION, OWNER SHALL BE RESPONSIBLE FOR REPAIRS AND REINSTATEMENT OF THE STRUCTURE.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.

NOTE:

PLAT OF FLOOD PLAIN

FOR STREAM REFER TO SHEETS C500-C504

FOR DRAWDOWN REFER TO RCD



Sheet 1 of 1

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blue river
ARCHITECTS

INTERIM REVIEW ONLY
THREE DOCUMENTS AND INFORMATION

INTERIM REVIEW ONLY

wallace
design
collective



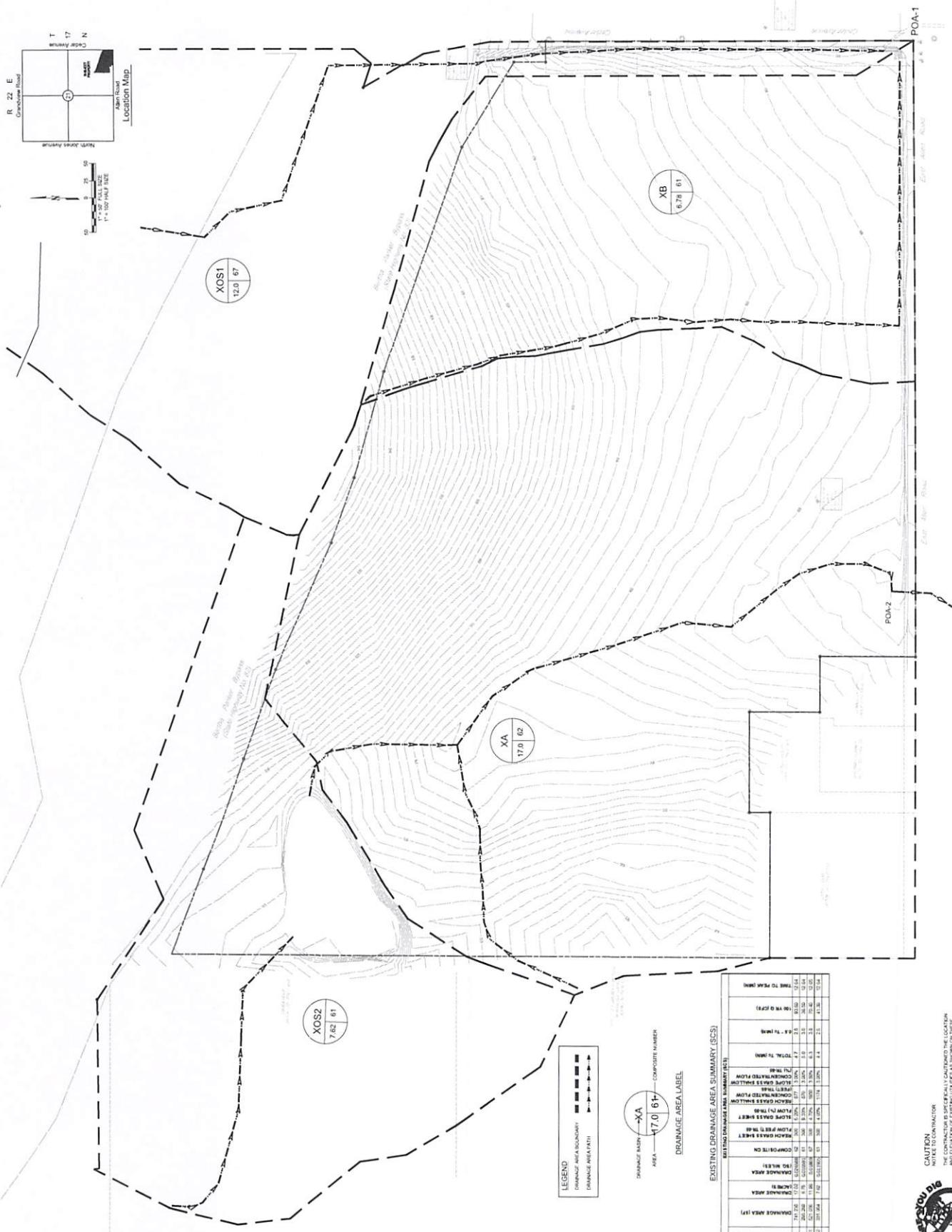
wallace design collective
wallace design collective.com
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**CHEROKEE HOUSING
TAHLEQUAH OKLAHOMA**

blueriver
ARCHITECTS
A Whitemarsh, Chester County Firm
MAIL ADDRESS: COLLECTIVE ARCHITECTURE, LLC
111 N. 2nd Street, Suite 200, Philadelphia, PA 19106
PHONE: 215.546.1200 • FAX: 215.546.1201
E-MAIL: info@blueriverarchitects.com
WEBSITE: www.blueriverarchitects.com

**DRAINAGE
AREA
EXISTING**

C501





blue river
ARCHITECTS

100



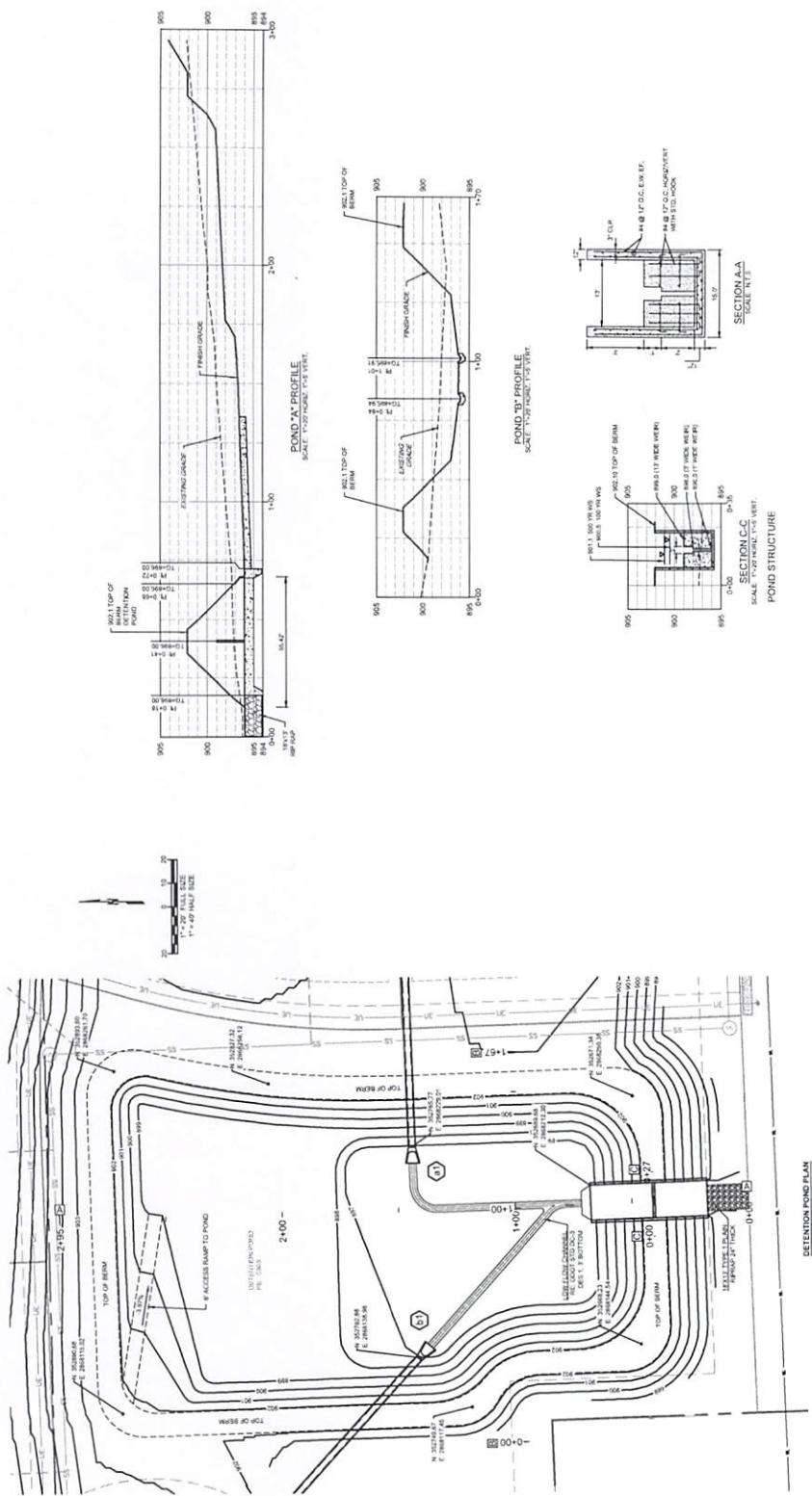
**CHEROKKEE HOUSING
TAHLEQUAH OKLAHOMA**

blueriver
R C H I T E C T S
A Design-Build Company. Chartered from
A TEAM OF COLLECTIVE PROFESSIONALS.

CONSTRUCTION DOCUMENTS

ATTENTION

505



BUILDS SUMMARY (KCS)			
	EXISTING BRANCH [CFS]	PROPOSED BRANCH [CFS]	EXISTING BRANCH [CFS]
STORM EVENT			
12 hr event [150c]	81.30	27.50	51.15
100 yr event [1.25x]	134.90	111.00	106.75
500 yr event [2.75x]	245.70	205.75	187.5
1000 yr event [5.0x]	491.40	350.75	315.0
PROPOSED BRANCH [CFS]			
DRAIN-2			

DETENTION POND SUMMARY (DCS METHOD)					
STORM EVENT	TOTAL DEVELOPED FLOW INTO POND (CFS)	DEVELOPED FLOW OUT OF POND (CFS)	VOLUME DETAILED (AC-FT)	PEAK STAGE (EGL)	PEAK FLOW (CFS)
10 Year (1.7%)	80.1	70.2	0.00	95.0	80.0
50 Year (1.7%)	54.0	53.9	1.02	94.0	54.0
100 Year (1.7%)	30.0	29.9	0.00	94.0	30.0

WATER LEVEL (FEET)	WATER SURFACE VOLUME (CU FT)	POOD AREA STANDARD		
		POOD AREA (AFA) (SF)	CONTRIBUTING STRUCTURES	POOD AREA (AFA) (SF)
805.00	3	1	none	100 (10)
805.00	100	1	none	100 (10)
805.00	1,000	1	none	100 (10)
805.00	2,000	1	none	100 (10)
805.00	3,000	1	none	100 (10)
805.00	4,000	1	none	100 (10)
805.00	5,000	1	none	100 (10)
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805.00	21,000	1	none	100 (10)
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CAUTION
NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION
AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THE SITE
PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY
COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE
PROJECT TEAM IS NOT RESPONSIBLE TO BE
COMpletely LOCATED OR LOCATED
IN A POSITION CENTER AT LEAST 212 HOURS BEFORE ANY ACTIVATION.
(DO NOT BURST) EACH UTILITIES
LOCATIONS ARE SUBJECT TO CHANGE.





INTERIM REVIEW ONLY

THIS DOCUMENT IS UNACCURATE
FOR PERMIT ISSUING OR CONSTRUCTION.



CHEROKEE HOUSING TALEQUAH OKLAHOMA

blue river
ARCHITECTS
A Native American Design Firm

TALEQUAH COLLECTIVE PROJECT NUMBER:

2240219

DATE:

11/22/2022

ROLE:

85% CONSTRUCTION

DOCUMENTS

OTHER ISSUES

NO DESCRIPTION

DATE

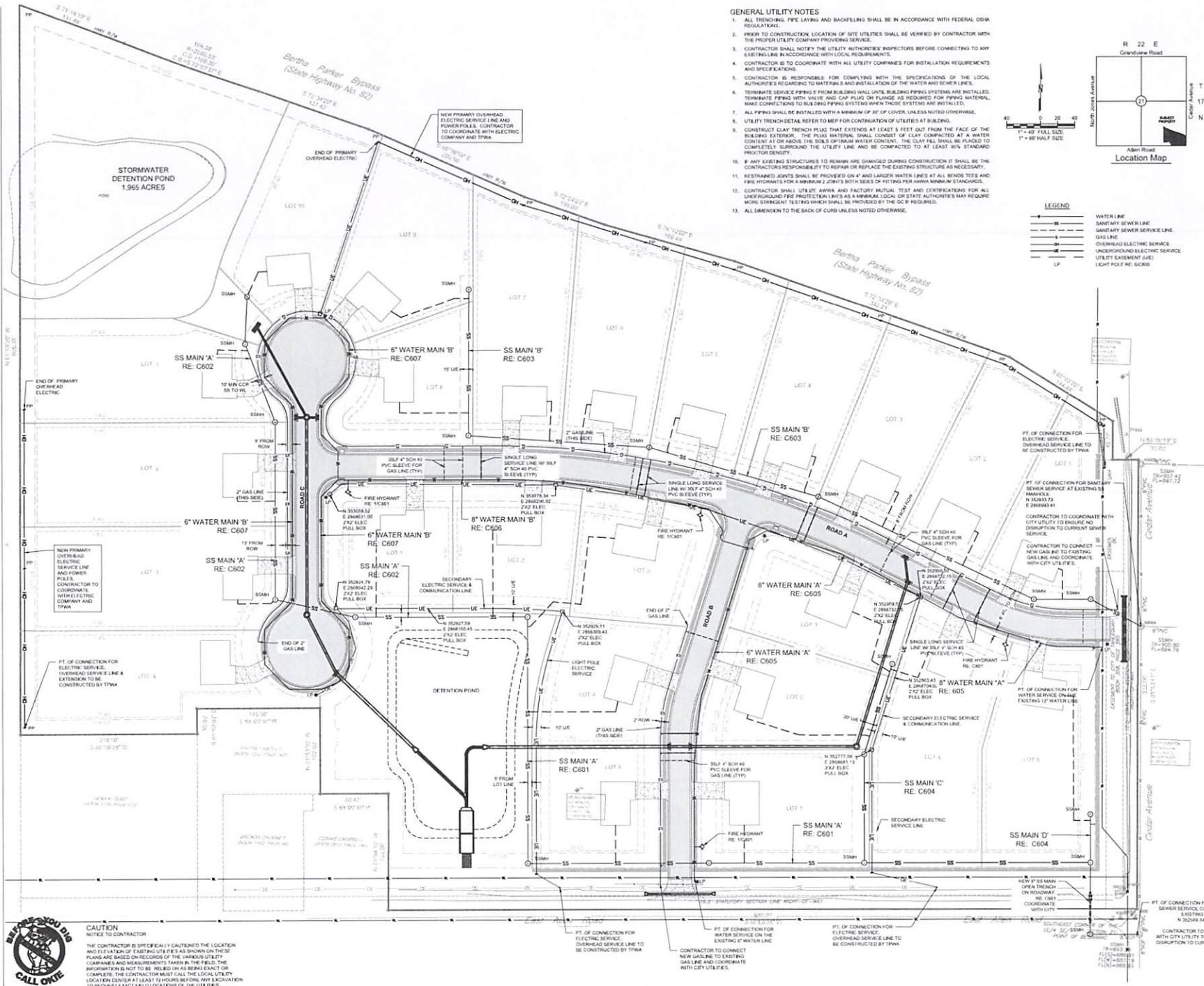
SHEET NAME:

UTILITY PLAN

SHEET NUMBER:

C600

EXCERPT FROM blue river ARCHITECTS LLC

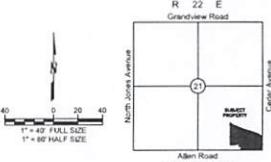
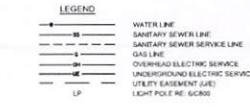


CAUTION NOTICE TO CONTRACTOR

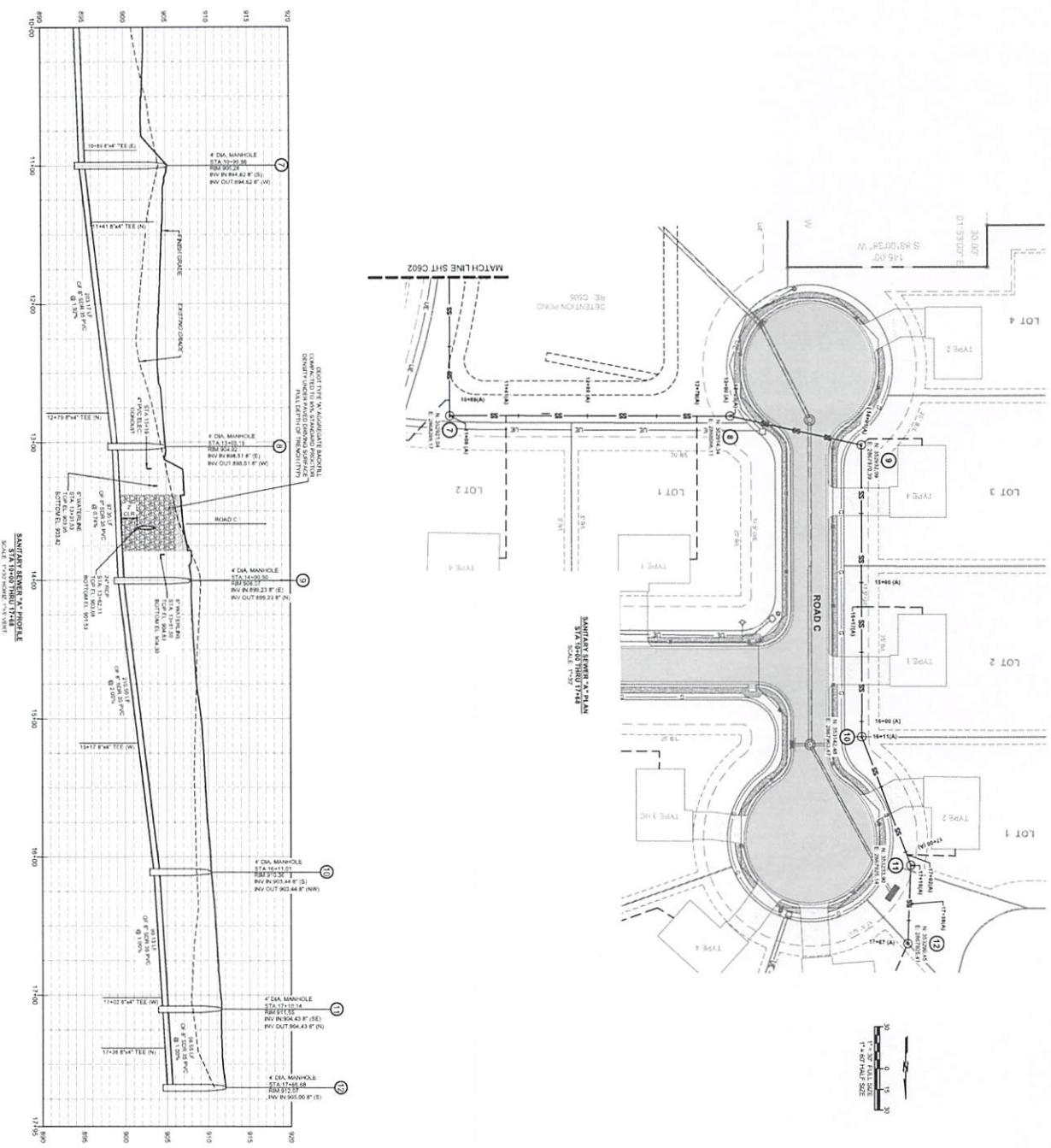
The contractor is specifically cautioned the location and location of all existing utility lines shown on this plan are based on records of the various utility companies and are not to be relied on as being exact or complete. The contractor must call the local utility location number to obtain information on the location and exact field locations of the utilities.

GENERAL UTILITY NOTES

- ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- PRIOR TO CONSTRUCTION, LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY CONTRACTOR WITH THE PROPER UTILITY COMPANY PROVIDING SERVICE.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES/INSPECTORS BEFORE CONNECTING TO ANY EXISTING UTILITY LINES FOR THE PURPOSE OF COORDINATION.
- CONTRACTOR IS TO COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL UTILITY COMPANIES REGARDING MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- TERMINATE SERVICE PIPING FROM BUILDING WALL UNTIL BUILDING PIPING SYSTEMS ARE INSTALLED. TERMINATE PIPING WITH VALVE AND CAP PLUG OR FLANGE AS REQUIRED FOR PIPING MATERIAL, MANUFACTURER'S SPECIFICATIONS, AND LOCAL CODES.
- ALL PIPING SHALL BE INSTALLED WITH A MINIMUM OF 30' OF COVER, UNLESS NOTED OTHERWISE.
- UTILITY TRENCH DETAIL REFER TO MEP FOR CONTINUATION OF UTILITIES AT BUILDING.
- CONSTRUCT CLAY TRENCH PLUG THAT EXTENDS AT LEAST 5 FEET OUT FROM THE FACE OF THE BUILDING EXTERIOR. THE PLUG MATERIAL SHALL CONSIST OF CLAY COMPACTED IN WATER. CONCRETE OR OTHER MATERIALS MAY BE USED IF APPROVED BY THE LOCAL UTILITY. THE PLUG MUST BE PLACED TO COMPLETELY SURROUND THE UTILITY LINE AND COMPACTED TO AT LEAST 95% STANDARD PROCTOR TEST.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- RESTRAINED JOINTS SHALL BE PROVIDED ON 4" AND 6" DIA. WATER LINES AT ALL BENDS AND TURNS. CONTRACTOR IS TO COORDINATE WITH THE LOCAL UTILITY FOR THE PROVISION OF RESTRAINED JOINTS.
- CONTRACTOR SHALL UTILIZE ANKVA AND FACTORY MUTUAL TEST AND CERTIFICATIONS FOR ALL UNDERGROUND FIRE PROTECTION LINES AS A MINIMUM. LOCAL OR STATE AUTHORITIES MAY REQUIRE MORE STRIGENT TESTING WHICH SHALL BE PROVIDED BY THE GC IF REQUIRED.
- ALL DIMENSION TO THE BACK OF CURB UNLESS NOTED OTHERWISE.



EXCERPT FROM blue river ARCHITECTS LLC



CHEROKEE HOUSING TAHLEQUAH OKLAHOMA

ARCHITECT
A Division of **Architectural Forum**
Project Name: **THE PROJECT NAME**
2240219
Issue Date:
11/23/2022
Fiscal Year:
95% CONSTRUCTION DOCUMENTS
Other Issue Dates:
Description: **DAT**

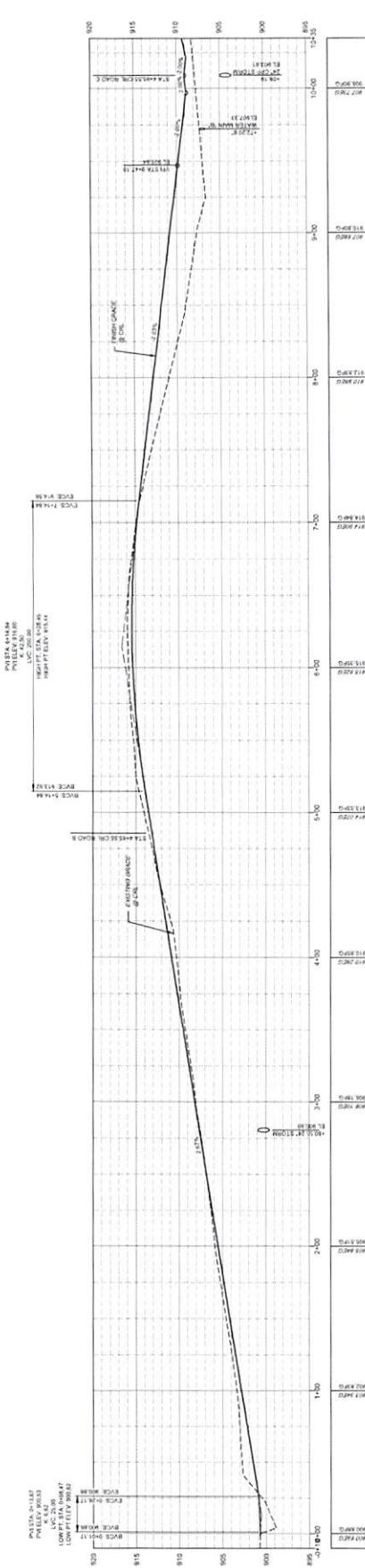
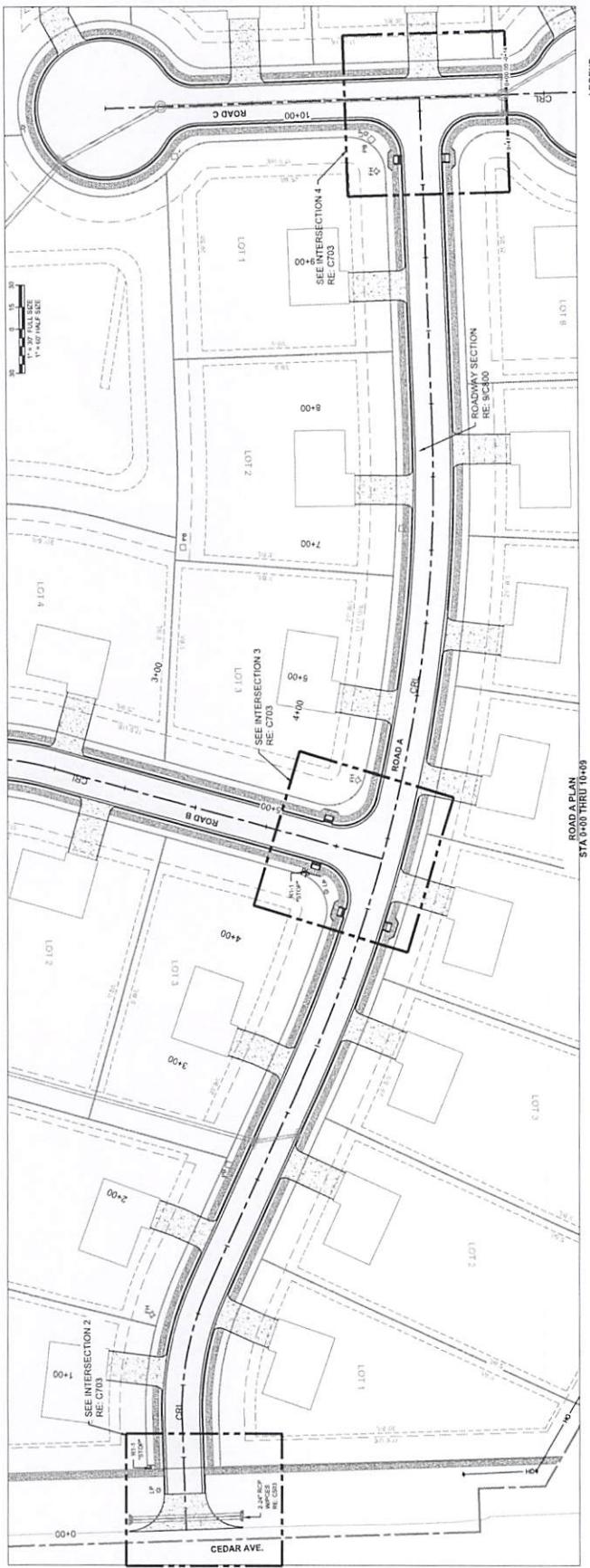
blue
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ARCHITECTURE
A Native American Design Ethic



INTERIM REVIEW ONLY

WALLACE DESIGN COLLECTIVE
PROJECTS: THE HIGHLIGHTS OF THE
YEAR. WWW.WALLACEDESIGN.COM

CHEROKEE HOUSING
TAHLEQUAH OKLAHOMA



STREET PLAN &
PROFILE

C700



**blue
river**
ARCHITECTS

A North American Coastal Firm

INTERIM REVIEW ONLY
THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND NOT FOR CONSTRUCTION.

wolcott
design
collective

CHEROKEE HOUSING TAHLEQUAH OKLAHOMA

blue river
ARCHITECTS

A North American Coastal Firm

20100101
11/22/2012
1:50 CONSTRUCTION
DOCUMENTS

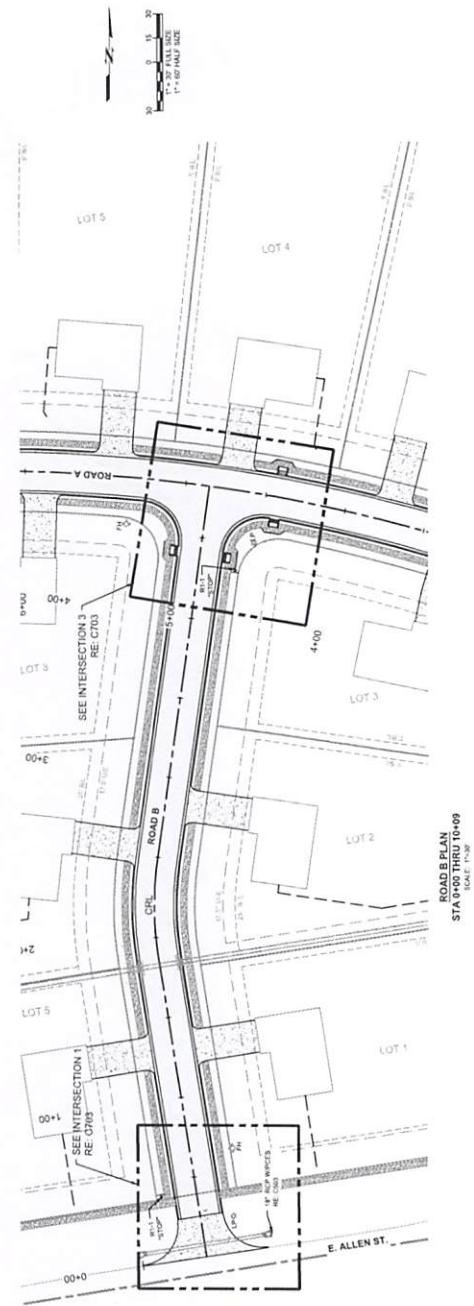
ONE HOUR UNITS

1:50 ELEVATION

1:50

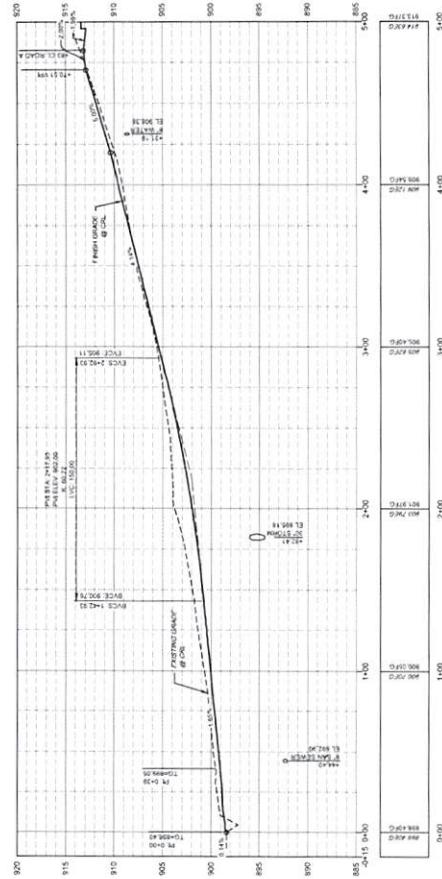
STREET PLAN &
PROFILE

C701

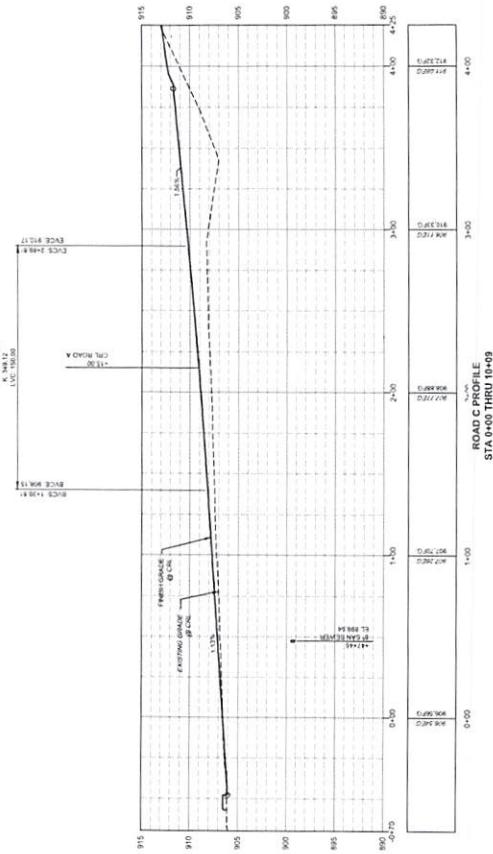
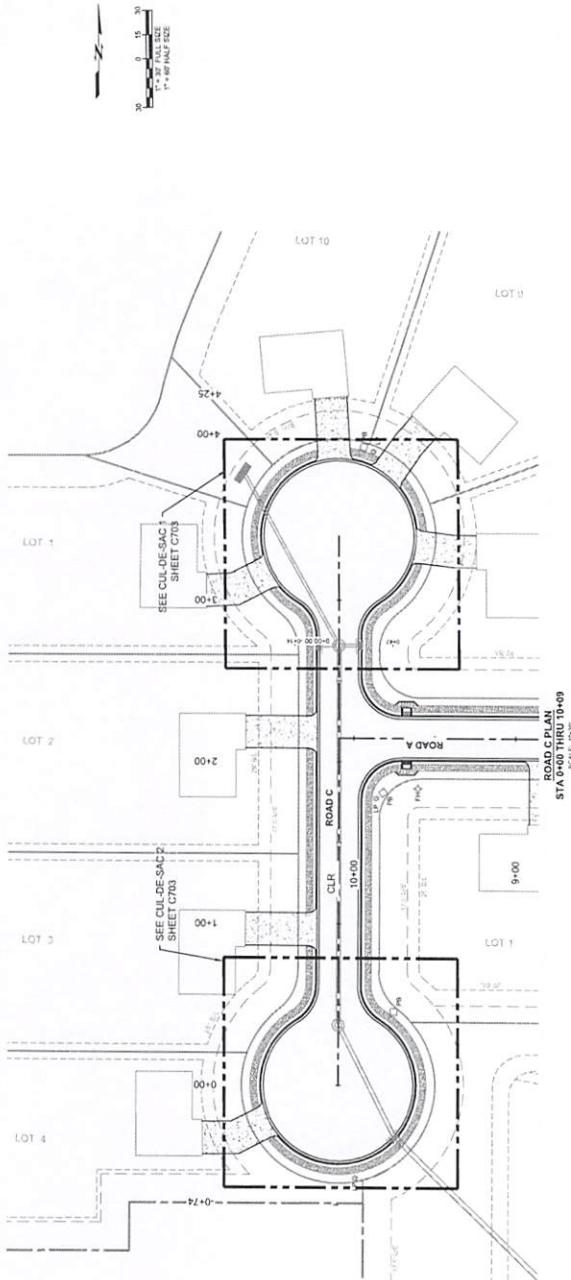


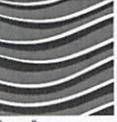
LEGEND

- [Symbol] CONCRETE SIDEWALK
- [Symbol] ASPHALT PAVING
- [Symbol] CONCRETE PAVING



REF C300 FOR
GEOMETRICS





blue river
ARCHITECTS
A Native American Owned Firm

INTERIM REVIEW ONLY

THIS DOCUMENT IS INCOMPLETE,
THAT IS NOT INTENDED TO BE USED
FOR FIELD CONSTRUCTION.

wallace
design
collective

CHEROKEE HOUSING TAHLEQUAH OKLAHOMA

blueriver
ARCHITECTS

INTERIM REVIEW COLLECTOR PROJECT NUMBER

2240219

Issue Date

11/22/2022

95% CONSTRUCTION
DOCUMENTS

Other Issue Dates

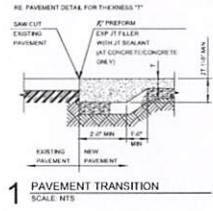
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Date

Sheet Name

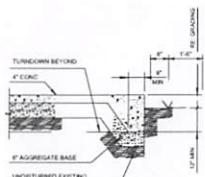
PAVING DETAILS

Sheet Number
C800



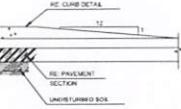
1 PAVEMENT TRANSITION

SCALE: NTS



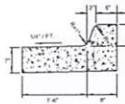
2 EQUIPMENT PAD/PATIO

SCALE: NTS



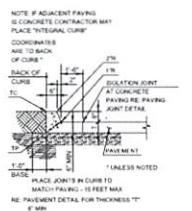
3 CURB TERMINATION

SCALE: NTS



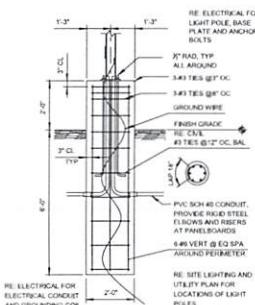
4 6" BARRIER CURB & GUTTER (FLOW AWAY)

SCALE: 1'=1"



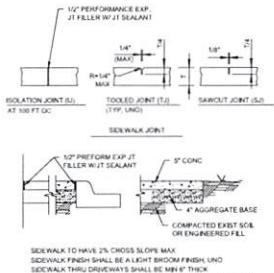
5 CURB AND GUTTER

SCALE: NTS



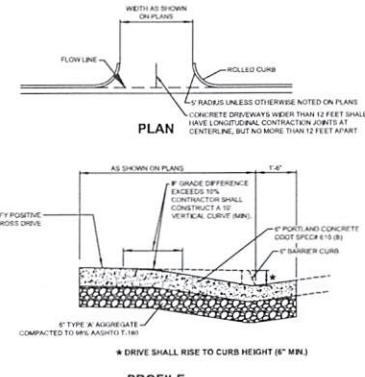
6 STREET LIGHTPOLE BASE

SCALE: NTS



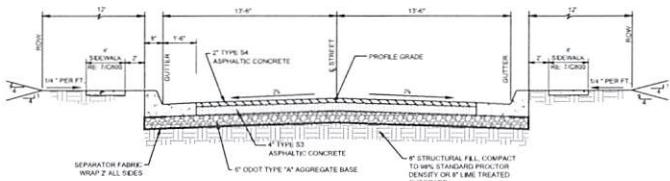
7 SIDEWALK

SCALE: NTS



8 CONCRETE DRIVEWAY DETAIL

SCALE: NTS



9 TYPICAL SECTION - RESIDENTIAL ROADWAY

SCALE: NTS

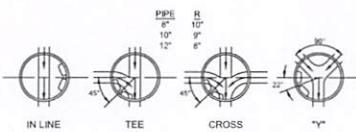


CAUTION NOTICE TO CONTRACTOR

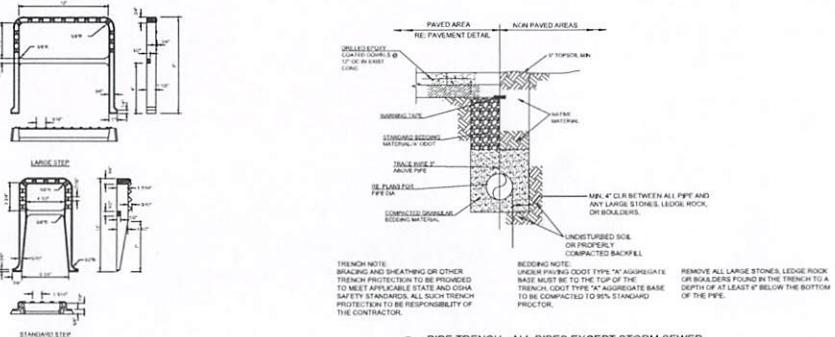
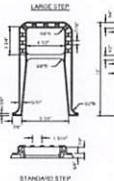
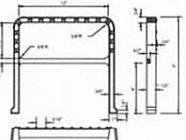
The Contractor is specifically cautioned the location and elevation of existing utilities as shown on these plans are based on records of the various utility companies and may not reflect actual locations. The information is not to be relied on as being exact or complete. The Contractor shall contact the utility location center at least 72 hours before any excavation to request exact field locations of the utilities.



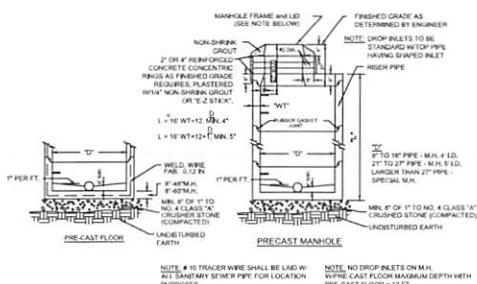
1 TYPICAL MANHOLE INVERT DETAILS
SCALE: NTS



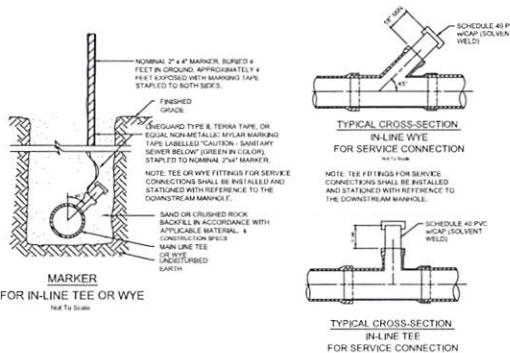
2 LOCATION MANHOLE STEPS DETAILS
SCALE: NTS



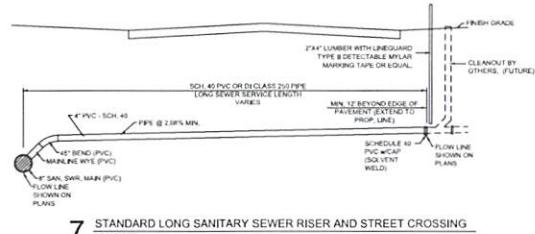
3 PIPE TRENCH - ALL PIPES EXCEPT STORM SEWER
SCALE: NTS



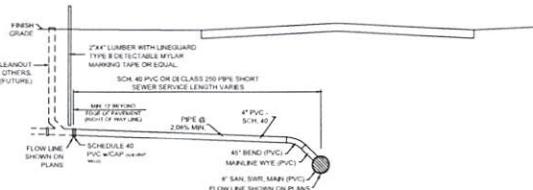
4 MANHOLE DETAILS
SCALE: NTS



5 IN-LINE TEE DETAILS
SCALE: NTS



7 STANDARD LONG SANITARY SEWER RISER AND STREET CROSSING
SCALE: NTS



8 STANDARD SHORT SEWER RISER
SCALE: NTS



CAUTION
NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTERED THE LOCATION
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LIAISON INFORMATION IS PROVIDED AS A GUIDE ONLY. THE
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TO REQUEST EXACT LOCATIONS OF THE UTILITIES.