

HACN HOUSING REHAB SITE DIRECTIONS

Name: Robin Fritchey

Telephone: (918)208-3385

Address: 462616 E. 1112 Rd.
Gans, OK 74936

County: Sequoyah **Year Built:** 1999

GPS Coordinates: 35.400383, -94.786101 **Drive Time:** 1 hr 3 Minutes



Directions: From Cherokee Nation, Go east on Hwy 62 for 1 mile to Hwy 82 turn right go 14.3 miles to Blue Top Rd./Hwy 17 for 13.2 miles turn left toward Marble City continuing on Hwy 17 for 10 more miles to Cherokee Ave.(Sallisaw) turn Left go to Hwy 58 turn Left go 6.4 miles turn Left on Hwy 141 go to N4620 Rd. go 2.6 Miles Driveway on Right. (Yellow 2 Story)

Robert watson (918)822-2412
Cost Estimator/Inspector

12/9/22
Date

WorkWrite-Up and Bid Document/By Trade

Robin Fritchey

462616 East 1112 Road Gans, OK 7-4936
 (918) 208-3385

Contractor Name: _____

Contractor Signature: _____

This document must be signed to be a valid bid.

PROJECT TYPE: Replacement **Bid Due Date:**

Trade	Work Description / Comments	Gen. Spec.	Qty Unit	Item Bid
<u>Carpentry</u>				
1 Area: EXTERIOR	Residential Structure/1091 SF/2 BR & 2 Bath ADA. Build new residential structure finished inside & out. Contractor is responsible for all permits and inspections (see Div. 17). SEE PLANS.	Div.# 17.A.	1091 SF	<input type="text"/>
<u>Site Work</u>				
2 Area: EXTERIOR	Residential Structure/Second Story/Pier & Beam Foundation/Demolish & Remove. Demolish and remove second story of structure to code legal dump. First story is bid separately.	Div.# 2.A.	1500 SF	<input type="text"/>
Two story frame house.				
3 Area: EXTERIOR	Residential Structure/Single Story Structure/Pier & Beam Foundation/Demolish & Remove. Demolish and remove all debris from the site to a code legal dump site.	Div.# 2.A.	750 SF	<input type="text"/>
First story of a two story house.				

Trade *Work Description / Comments* *Gen. Spec.* *Qty Unit* *Item Bid*

All construction shall be in accordance with local codes, manufacturers' recommended installation procedures, good quality workmanship practices, General Specifications and Lead-Based Paint requirements when applicable. Conflicts between requirements will be resolved by compliance with the more stringent requirement.

Total:

HOUSING REHAB

SITE EVALUATION

Name: Robin Fritchey Address: 462616 E 1112 Rd
Phone: 918-208-3385 County: Gans, OK 74934
Sequoyah

Directions: S 59 Hwy from I-40 - to 191 turn left go to 1st road turn left - go to top of mountain 4th driveway on right take right at top of driveway

(CHECK ALL THAT APPLY TO THE SITE)

- Handicap (yes or no)
- Existing Certified Septic System/Drainfield
- Perc Test or Soil Test (attach) Need
- New Septic System or Aerobic System (Circle One)
- Survey (attach)
- Plat (attach)
- Drill Well shared well ?

Name City Utilities Cookson Hills Rural Utilities
Electric Company Cookson Hills How far from Site: on site
Gas Company Needs Replaced How far from Site
RWD Name: How far from Site

Environmental Report Requested Environmental Issues, noted below

Notes: Drill new well ?

Attach:
House plans

Cost Estimator: Rattwata 12-8-22
Signature Date



Housing Authority of the Cherokee Nation
1500 Hensley Drive
P.O. Box 1007
Tahlequah, OK 74465-1007
Phone 918-456-5482



Homeowner, _____ accepts/declines the required specifications for Handicap Assessability, for Housing Program (New Construction or Rehab).

Items Listed:

GRAB BARS AT TOILET: Accept / Decline ___

GRAB BARS AT TUB/SHOWER: Accept / Decline ___

HIGH RISE TOILET Accept / Decline ___

ADA SHOWER W / TRANSFER: Accept / Decline ___

ENTRY DOORWAY OF 36": Accept / Decline ___

RAMP: ___ Accept / Decline

WALL HUNG VANITY: Accept / Decline

VISUALLY IMPAIRED (BLIND) ___ Accept/Decline

HEARING IMPAIRED (DEAF) ___ Accept/Decline

OTHER _____ ___ Accept/Decline ___

Homeowners agrees and understands the above and NO other changes will be made after this date.

Robin Fitchey 12/8/22
Homeowner: Date:

Ratet Winters 12-8-22
Inspector: Date:

— E — E — Electric Line	— R/W — Right-of-Way Line	(PT) Propane Tank	∅ Power Pole	Location Map Scale: 1"=3000' Section 29 Sequoyah County, Okla.	<table border="1"> <tr><td>R</td><td>24</td><td>E</td></tr> <tr><td></td><td></td><td>T</td></tr> <tr><td></td><td></td><td>11</td></tr> <tr><td></td><td></td><td>N</td></tr> </table>	R	24	E			T			11			N
R	24	E															
		T															
		11															
		N															
— X — X — Easement Line	— — — Section Line	□ Stone Monument	△ ODOT Brass Cap														
— — — Fence Line	— — — 10 Acre/40 Acre Line	○ Set #3 Rebar w/cap	● Existing Monument (As Labeled)														
		⊗ Calculated Point															

PLAT OF SURVEY

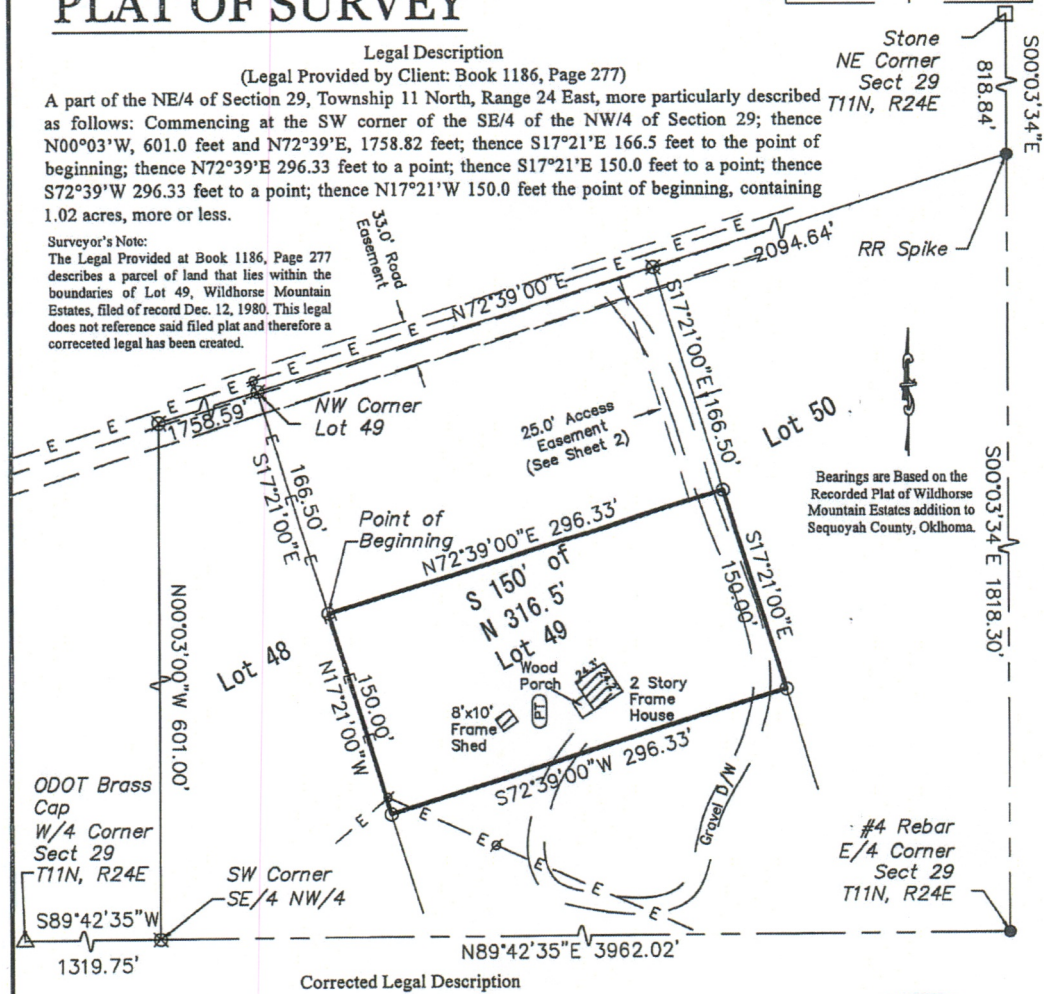
Legal Description

(Legal Provided by Client: Book 1186, Page 277)

A part of the NE/4 of Section 29, Township 11 North, Range 24 East, more particularly described as follows: Commencing at the SW corner of the SE/4 of Section 29; thence N00°03'W, 601.0 feet and N72°39'E, 1758.82 feet; thence S17°21'E 166.5 feet to the point of beginning; thence N72°39'E 296.33 feet to a point; thence S17°21'E 150.0 feet to a point; thence S72°39'W 296.33 feet to a point; thence N17°21'W 150.0 feet the point of beginning, containing 1.02 acres, more or less.

Surveyor's Note:

The Legal Provided at Book 1186, Page 277 describes a parcel of land that lies within the boundaries of Lot 49, Wildhorse Mountain Estates, filed of record Dec. 12, 1980. This legal does not reference said filed plat and therefore a corrected legal has been created.



Corrected Legal Description

A part of the Lot 49 of Wildhorse Mountain Estates to Sequoyah County filed of record December 12, 1980 being more particularly described as follows: Commencing at the NW corner of said Lot 49; thence S17°21'E 166.5 feet to the point of beginning; thence N72°39'E 296.33 feet to a point; thence S17°21'E 150.0 feet to a point; thence S72°39'W 296.33 feet to a point; thence N17°21'W 150.0 feet the point of beginning, containing 1.02 acres, more or less.

I, Kelly Osburn, Oklahoma Professional Land Surveyor, No. 1624, do hereby certify that the plat herein correctly represents a survey made on-the-ground under my supervision, and that this survey is based on existing county records and existing survey monuments available at the time of this survey and that the survey and plat herein was made for the client or clients as named per this plat, pursuant to clients request and for clients' specific use and benefits only. No responsibility is assumed herein or hereby to the future landowners or occupants. This survey meets the requirements of the Oklahoma Minimum Standards, Certificate of Authorization, No. 5391, Expires 6/30/23.

SURVEYOR'S NOTE:

- This Survey was done to mark the corners on the ground and to show observed structures if any. Utilities located, if any, are from above ground inspection. The surveyor makes no guarantee that the structures and utilities shown compromise all such structures and utilities on the property. This survey was done from the description furnished by the client or clients agent named on this plat. No title search was done and record ownership, rights-of-way of road and easements to and across this property must be confirmed by others. Any building setbacks, lot restrictions or covenants not shown are the responsibility of the land owner. The buyer or owner of this property should satisfy themselves as to the correct owner through a title search or review by an attorney.
- The Surveyor reserves the right to change the opinion of this survey if any relevant evidence is brought forth in the future.
- Fences located, if any, are located from the fence corners only. Any measuring of fence lines has not been located.



WARNING: If the Seal on this document is not Red and embossed, it is an unauthorised copy which may have been altered or modified, and cannot be used for any purpose without the written permission of Osburn Land Surveying LLC.

Osburn Land Surveyors, LLC.			
P.O. Box 1406	3615 W. Cherokee	Sallisaw, OK	74955
SCALE: 1"=100'	918.775.9322—Office		SURVEY BY: PB
DATE: 1-17-23	JOB NUMBER: 23-9077	Part of Lot 49, Wildhorse Mountain Estates, Sequoyah County, OK	DRAWN BY: ND
LAST SITE VISIT	FOR: Robert Fritchey/Cherokee Nation Rehab	APPROVED BY: <i>[Signature]</i>	SHEET 1 of 2
1/4/23	Copyright 2023 by Osburn Land Surveying LLC. All rights reserved. No part of this plat may be reproduced, stored in a retrieval system, or transmitted in any form without the written permission of Osburn Land Surveying LLC.		

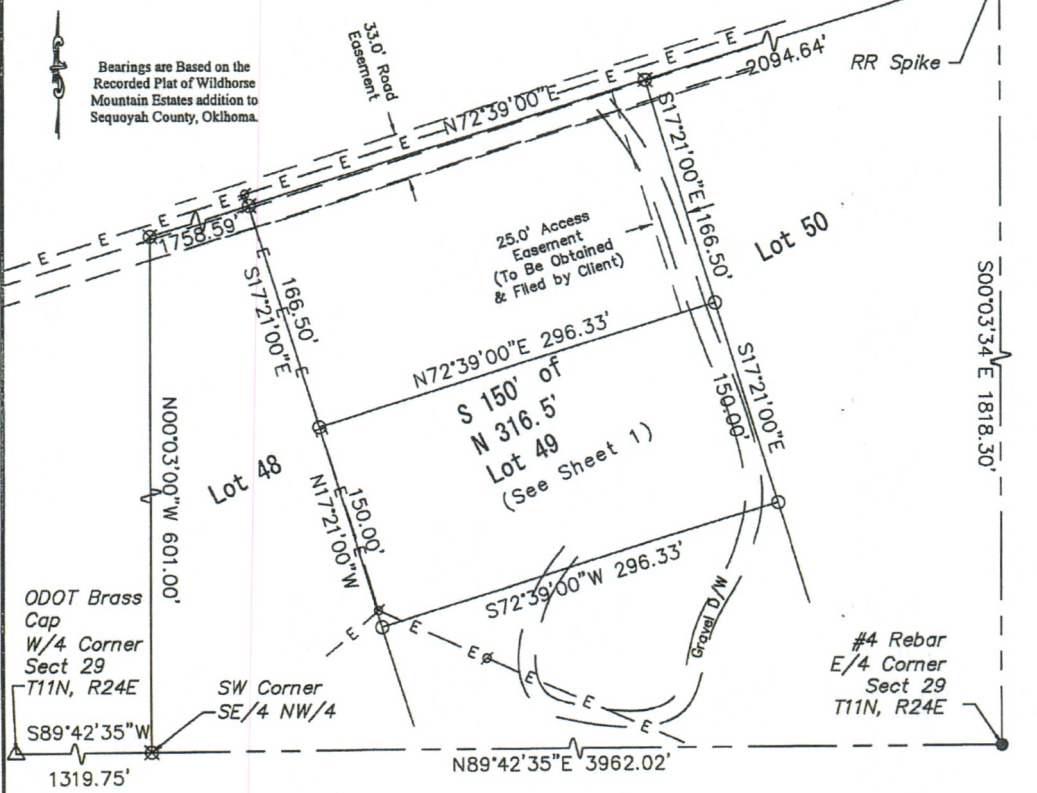
LEGEND

— E — E — Electric Line	— R/W — Right-of-Way Line	⊗ Power Pole
— E — E — Easement Line	— — — Section Line	□ Stone Monument
— X — X — Fence Line	— — — 10 Acre/40 Acre Line	△ ODOT Brass Cap
		○ Set #3 Rebar w/cap
		● Existing Monument (As Labeled)
		⊗ Calculated Point

Location Map Scale: 1"=3000'
Section 29
Sequoyah County, Okla.

PLAT OF SURVEY

SURVEYOR'S NOTE:
 1. This Survey was done to mark the corners on the ground and to show observed structures if any. Utilities located, if any, are from above ground inspection. The surveyor makes no guarantee that the structures and utilities shown compromise all such structures and utilities on the property. This survey was done from the description furnished by the client or clients agent named on this plat. No title search was done and record ownership, rights-of-way of road and easements to and across this property must be confirmed by others. Any building setbacks, lot restrictions or covenants not shown are the responsibility of the land owner. The buyer or owner of this property should satisfy themselves as to the correct owner through a title search or review by an attorney.
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Legal Description
25-Foot Access Easement
 (To be Obtained & Filed by Client)

A 25-foot access easement, being situated in a part of Lot 49 of Wild Horse Mountain Estates Addition to Sequoyah County, Oklahoma. The described parcel being created by Kelly Osburn, Oklahoma PLS #1628 on January 10, 2023. The bearings for the described easement are based on the recorded plat of Wildhorse Mountain Estates and said easement s more particularly described as:

The East 25.00 feet of the North 166.50 feet of Lot 49 of Wildhorse Mountain Estates addition to Sequoyah County, Oklahoma.



I, Kelly Osburn, Oklahoma Professional Land Surveyor, No. 1628, do hereby certify that the plat hereon correctly represents a survey made on-the-ground under my supervision, and that this survey is based on existing county records and existing survey monuments available at the time of this survey and that the survey and plat hereon was made for the client or clients so named per this plat, pursuant to clients request and for clients specific use and benefit only. No responsibility is assumed herein or hereby to the future landowners or occupants. This survey meets the requirements of the Oklahoma Minimum Standards, Certificate of Authorization, No. 5391, Expires 6/30/23.

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Osburn Land Surveyors, LLC.			
P.O. Box 1406	3615 W. Cherokee	Sallisaw, OK	74955
918.775.9322—Office			
SCALE: 1"=60'	JOB NUMBER: 23—9077		SURVEY BY: PB
DATE: 1-17-23	Part of Lot 49, Wildhorse Mountain Estates, Sequoyah County, OK		DRAWN BY: ND
LAST SITE VISIT	FOR: Robert Fritchay/Cherokee Nation Rehab	APPROVED BY:	SHEET 2 of 2
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