



Housing Authority of the Cherokee Nation
1500 Hensley Drive
P.O. Box 1007
Tahlequah, OK 74465-1007
Phone 918-456-5482



Homeowner, Sue Deardueff accepts/declines the required specifications for Handicap Assessability, for Housing Program (New Construction or Rehab).

Items Listed:

- GRAB BARS AT TOILET: Accept / Decline ___
- GRAB BARS AT TUB/SHOWER: Accept / Decline ___
- HIGH RISE TOILET Accept / Decline ___
- ADA SHOWER W / TRANSFER: Accept / Decline ___
- ENTRY DOORWAY OF 36": Accept / Decline ___
- RAMP: Accept / Decline ___ *IF needed*
- WALL HUNG VANITY: ___ Accept / Decline ___
- VISUALLY IMPAIRED (BLIND) ___ Accept/Decline
- HEARING IMPAIRED (DEAF) ___ Accept/Decline
- OTHER _____ ___ Accept/Decline ___

Homeowners agrees and understands the above and NO other changes will be made after this date.

Sue Deardueff 3-23-23
Homeowner: Date:

Sue Deardueff 3-23-23
Inspector: Date:

HOUSING REHAB
SITE EVALUATION

Name: Sue Dearduff Address: 7773 North Lost City Rd. Hulbert
Phone: 918-822-2014 County: Cherokee
Home 918-422-0290
Directions:

(CHECK ALL THAT APPLY TO THE SITE)

- Handicap (yes or no)
 Existing Certified Septic System/Drainfield
 Perc Test or Soil Test (attach)
 New Septic System or Aerobic System (Circle One)
 Survey (attach)
 Plat (attach)
 Drill Well

Name City Utilities NO Rural Utilities LAKE REGION
Electric Company LAKE REGION How far from Site: 80
Gas Company PEOPLES How far from Site: 100
RWD Name: AS Well How far from Site: 150

Environmental Report Requested Environmental Issues, noted below

Notes: ~~NO~~ They want wood heat Move house back
about 50 to 60 feet. The way is supposed to be
widened in the future.

Attach:

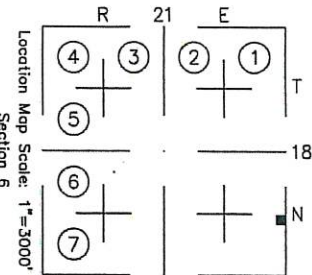
House plans

Cost Estimator: Ray Griffin 3-23-2023
Signature Date

LEGEND

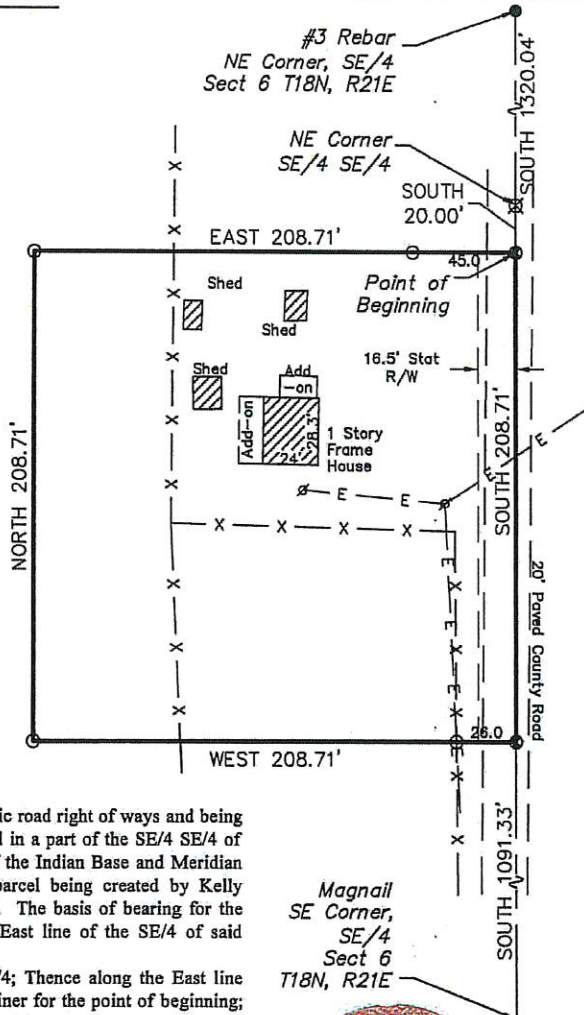
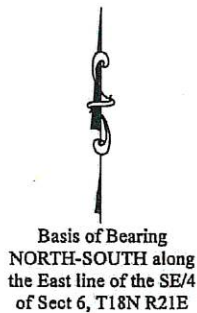
- E — E — R/W — Power Pole
- Electric Line Right-of-Way Line
- — — — — Easement Line Section Line
- X — X — — — — Fence Line 10 Acre/40 Acre Line
- Stone Monument
- △ Brass Cap
- Set #3 Rebar w/cap
- Existing Monument
- ⊗ Calculated Point
- ⊙ Set Magnail w/shiner

Location Map Scale: 1"=3000'



PLAT OF SURVEY

Center of House
 LAT: 36°03'48.8310"
 LON: 95°06'03.6675"



Legal Description

A 1.00-acre parcel of land, more or less, less public road right of ways and being subject to any easements of record, being situated in a part of the SE/4 SE/4 of Section 6, Township 18 North, Range 21 East of the Indian Base and Meridian Cherokee County, Oklahoma. The described parcel being created by Kelly Osburn, Oklahoma PLS #1628 on April 5, 2023. The basis of bearing for the described parcel is NORTH-SOUTH along the East line of the SE/4 of said Section 6 and is more particularly described as:
 Commencing at the NE corner of said SE/4 SE/4; Thence along the East line thereof SOUTH 20.00 Feet to a set magnail w/shiner for the point of beginning; Thence continuing along said East line SOUTH 208.71 Feet to a set magnail w/shiner; Thence WEST 208.71 Feet to a set #3 rebar w/cap; NORTH 208.71 Feet to a set #3 rebar w/cap; Thence EAST 208.71 Feet to The Point Of Beginning.

I, Kelly Osburn, Oklahoma Professional Land Surveyor, No. 1628, do hereby certify that the plat herein correctly represents a survey made on-the-ground under my supervision, and that this survey is based on existing county records and existing survey monuments available at the time of this survey and that the survey and plat herein was made for the client or clients as named per this plat, pursuant to clients request and for clients specific use and benefits only. No responsibility is assumed herein or hereby to the future landowners or occupants. This survey meets the requirements of the Oklahoma Minimum Standards. Certificate of Authorization, No. 5191, Expires 6/30/23.

SURVEYORS NOTE: This Survey was done to create a new legal description and to mark the corners of that description on the ground. To show observed structures and utilities if any. Utilities located, if any, are from above ground inspection. The surveyor makes no guarantee that the utilities shown compromise all utilities on the property. This survey was done for the client or clients as named on this plat. No title search was done and record ownership, rights-of-way of road and easements to and across this property must be confirmed by others. Any building setbacks, lot restrictions or covenants not shown are the responsibility of the land owner. The buyer or owner of this property should satisfy themselves as to the correct owner through a title search or review by an attorney.

2. The Surveyor reserves the right to change the opinion of this survey if any relevant evidence is brought forth in the future.

3. Fences located, if any, are located from the fence corners only. Any measuring of fence line has not been located.

Magnail
 SE Corner,
 SE/4
 Sect 6
 T18N, R21E



Warning: If the Seal on this document is not red and embossed, it is an uncontracted copy which may have been altered or modified, and cannot be used for any purpose without the written permission of Osburn Land Surveying LLC.

Osburn Land Surveyors, LLC.

P.O. Box 1406 3615 W. Cherokee Sallisaw, OK 74955
 918.775.9322—Office

SCALE: 1"=80'	DATE: 4-10-23		SURVEY BY: PB
DATE: 4-10-23	JOB NUMBER: 23-9204	A part of the SE/4 of Sect 6, T18N, R21E, Cherokee Co, OK	DRAWN BY: ND
LAST SITE VISIT	FOR: Sue Deardeuff/Cherokee Nation Rehab	APPROVED BY: [Signature]	CHECKED BY:
3/29/23	Copyright 2023 by Osburn Land Surveying LLC. All rights reserved. No part of this plat may be reproduced, stored in a retrieval system, or transmitted in any form without the written permission of Osburn Land Surveying LLC.		