

HACN HOUSING REHAB SITE DIRECTIONS

Name: Peggy Philpott

Telephone: (918)718-9432

Address: 23357 South 472 Road
Tahlequah, OK 74464

County: Cherokee **Year Built:** 1970

GPS Coordinates: 35.83943, -95.05207 **Drive Time:** 15 mins



Directions: From Cherokee Nation, Head southwest on US-62 W/ S Muskogee Ave 3.4 miles. Turn right onto S 475 Rd/ W 814 Rd 0.1 mile. turn right to stay on S 475 Rd 0.1 mile. turn left onto W 815 Rd 0.6 miles. turn right onto S 472 Rd 0.5 miles. turn right to stay on S 472 Rd 0.1 mile. turn left 0.1 mile. it is the only trailer down this rd.

Jarrold Proctor
Cost Estimator/Inspector

8/8/2022
Date

WorkWrite-Up and Bid Document/By Trade

Peggy Philpott

23357 South 472 Road Tahlequah, OK 7-
(918) 718-9432

Contractor Name:

Contractor Signature:

This document must be signed to be a valid bid.

PROJECT TYPE: Replacement **Bid Due Date:**

Trade	Work Description / Comments	Gen. Spec.	Qty	Unit	Item Bid
Carpentry					
1	Area: EXTERIOR Residential Structure/1091 SF/2 BR & 2 Bath ADA. Build new residential structure finished inside & out. Contractor is responsible for all permits and inspections (see Div. 17). SEE PLANS.	Div.# 17.A.	1091	SF	
Site Work					
2	Area: EXTERIOR Residential Structure/Single Story Structure/Pier & Beam Foundation/Demolish & Remove. Demolish and remove all debris from the site to a code legal dump site.	Div.# 2.A.	1100	SF	

All construction shall be in accordance with local codes, manufacturers' recommended installation procedures, good quality workmanship practices, General Specifications and Lead-Based Paint requirements when applicable. Conflicts between requirements will be resolved by compliance with the more stringent requirement.

Total:

HOUSING REHAB
SITE EVALUATION

Name: Peggy Philpott Address: 23357 S. 472 Rd., Tahlequah
Phone: 918-718-9432 County: Cherokee

Directions: _____

(CHECK ALL THAT APPLY TO THE SITE)

- Handicap (yes or no) NO
 Existing Certified Septic System/Drainfield
 Perc Test or Soil Test (attach)
 New Septic System or Aerobic System (Circle One)
 Survey (attach)
 Plat (attach)
 Drill Well

Name City Utilities Lake Region Rural Utilities _____
Electric Company Lake Region How far from Site: _____
Gas Company _____ How far from Site _____
RWD Name: Stick Ross How far from Site _____
 Environmental Report Requested Environmental Issues, noted below

Notes: Same location as existing house - relocate. Need new septic

Attach:
House plans

Cost Estimator: Janet Proctor 5-23-22
Signature Date



Housing Authority of the Cherokee Nation
1500 Hensley Drive
P.O. Box 1007
Tahlequah, OK 74465-1007
Phone 918-456-5482



Homeowner, Peggy Philpott accepts/declines the required specifications for Handicap Assessability, for Housing Program (New Construction or Rehab).

Items Listed:

- GRAB BARS AT TOILET: Accept / Decline
- GRAB BARS AT TUB/SHOWER: Accept / Decline
- HIGH RISE TOILET Accept / Decline
- ADA SHOWER W / TRANSFER: Accept / Decline
- ENTRY DOORWAY OF 36": Accept / Decline
- RAMP: Accept / Decline
- WALL HUNG VANITY: Accept / Decline
- VISUALLY IMPAIRED (BLIND) Accept/Decline
- HEARING IMPAIRED (DEAF) Accept/Decline
- OTHER _____ Accept/Decline

Homeowners agrees and understands the above and NO other changes will be made after this date.

Peggy Philpott 05-25-22
Homeowner Date:

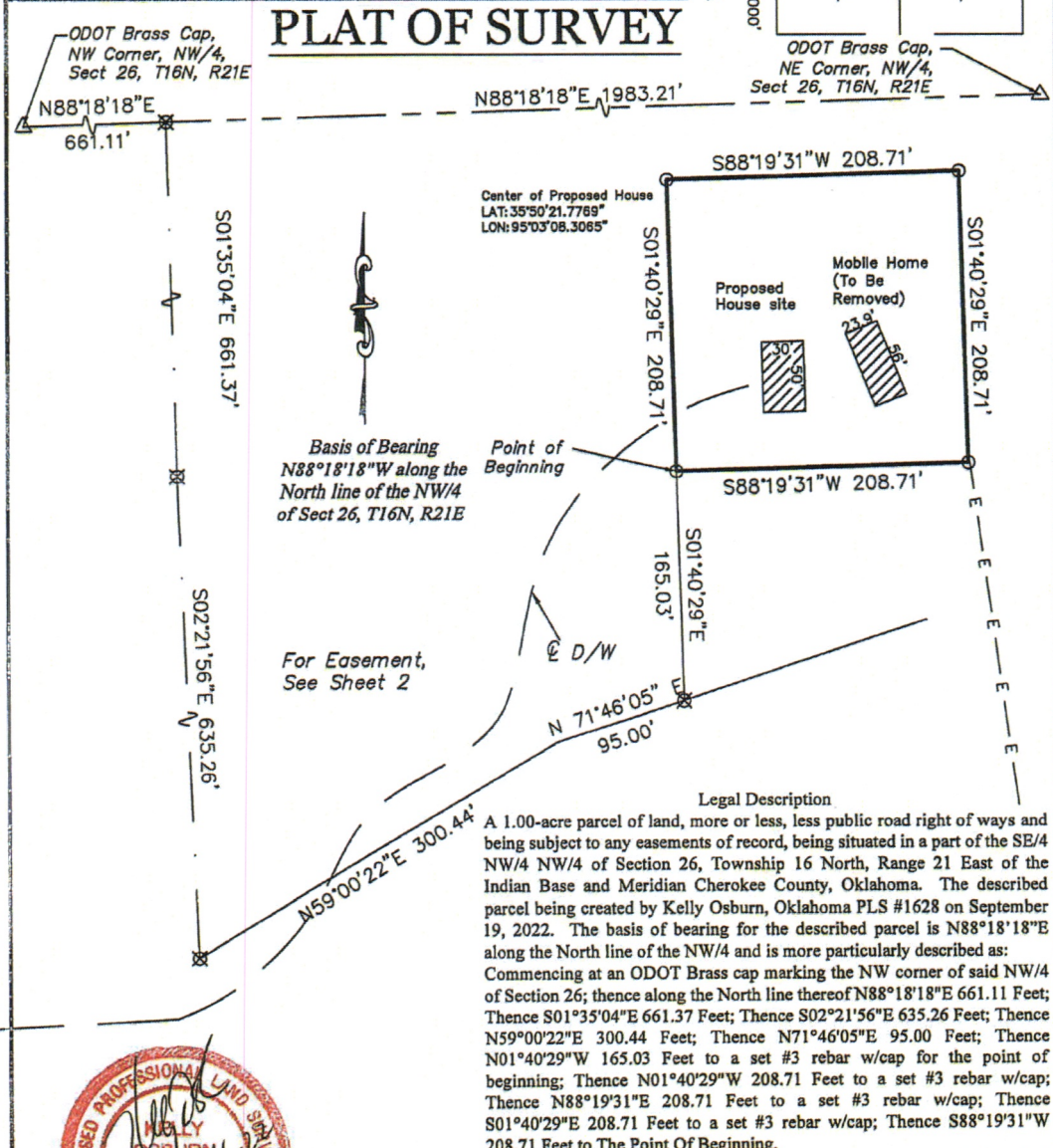
Janel Knoch 5-25-22
Inspector Date:

LEGEND

<p>— E — E — Electric Line</p> <p>----- Easement Line</p> <p>— X — X — Fence Line</p>	<p>----- Section Line</p> <p>----- 10 Acre/40 Acre Line</p> <p>----- R/W Right-of-Way Line</p>	<p>∅ Power Pole</p> <p>□ Stone Monument</p> <p>△ ODOT Brass Cap</p> <p>○ Set #3 Rebar w/cap</p> <p>● Existing Monument</p> <p>⊗ Calculated Point</p>
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Location Map Scale: 1"=3000'

Cherokee County, Okla.



A 1.00-acre parcel of land, more or less, less public road right of ways and being subject to any easements of record, being situated in a part of the SE/4 NW/4 of Section 26, Township 16 North, Range 21 East of the Indian Base and Meridian Cherokee County, Oklahoma. The described parcel being created by Kelly Osburn, Oklahoma PLS #1628 on September 19, 2022. The basis of bearing for the described parcel is N88°18'18"E along the North line of the NW/4 and is more particularly described as: Commencing at an ODOT Brass cap marking the NW corner of said NW/4 of Section 26; thence along the North line thereof N88°18'18"E 661.11 Feet; Thence S01°35'04"E 661.37 Feet; Thence S02°21'56"E 635.26 Feet; Thence N59°00'22"E 300.44 Feet; Thence N71°46'05"E 95.00 Feet; Thence N01°40'29"W 165.03 Feet to a set #3 rebar w/cap for the point of beginning; Thence N01°40'29"W 208.71 Feet to a set #3 rebar w/cap; Thence N88°19'31"E 208.71 Feet to a set #3 rebar w/cap; Thence S01°40'29"E 208.71 Feet to a set #3 rebar w/cap; Thence S88°19'31"W 208.71 Feet to The Point Of Beginning.



WARNING: If the seal or this document is not Red and embossed, it is an unauthorized copy which may have been altered or modified, and cannot be used for any purpose without the written permission of Osburn Land Surveying LLC.

I, Kelly Osburn, Oklahoma Professional Land Surveyor, No. 1628, do hereby certify that the plat hereon correctly represents a survey made on-the-ground under my supervision, and that this survey is based on existing county records and existing survey measurements available at the time of this survey and that the survey and plat hereon was made for the client or clients as named per this plat, pursuant to clients request and for clients' specific use and benefits only. No responsibility is assumed herein or hereby to the future landowners or occupants. This survey meets the requirements of the Oklahoma Minimum Standards. Certificate of Authorization, No. 5391, Expires 6/30/23.

SURVEYOR'S NOTE: This Survey was done to create a new legal description and to mark the corners of that description on the ground. To show observed structures and utilities if any. Utilities located, if any, are from above ground inspection. The surveyor makes no guarantee that the utilities shown compromise all utilities on the property. This survey was done for the client or clients agent named on this plat. No title search was done and record ownership, right-of-way of road and easements to and across this property must be confirmed by others. Any building setbacks, Lot restrictions or covenants not shown are the responsibility of the land owner. The buyer or owner of this property should satisfy themselves as to the correct owner through a title search or review by an attorney.

2. The Surveyor reserves the right to change the opinion of this survey if any relevant evidence is brought forth in the future.

3. Fences located, if any, are located from the fence corners only. Any misreading of fence line has not been located.

Osburn Land Surveyors, LLC.			
P.O. Box 1406	3615 W. Cherokee	Sallisaw, OK 74955	
SCALE: 1"=100'	918.775.9322—Office		SURVEY BY: KJO
DATE: 9/16/22	JOB NUMBER: 22-8953	A part of the NW/4 of Sect 26, T16N, R21E, Cherokee Co, OK	
LAST SITE VISIT	FOR: Peggy Philpott/Cherokee Nation Rehab	APPROVED BY:	Sheet 1 of 2
8/24/22	Copyright 2022 by Osburn Land Surveying LLC. All rights reserved. No part of this plat may be reproduced, stored in a retrieval system, or transmitted in any form without the written permission of Osburn Land Surveying LLC.		

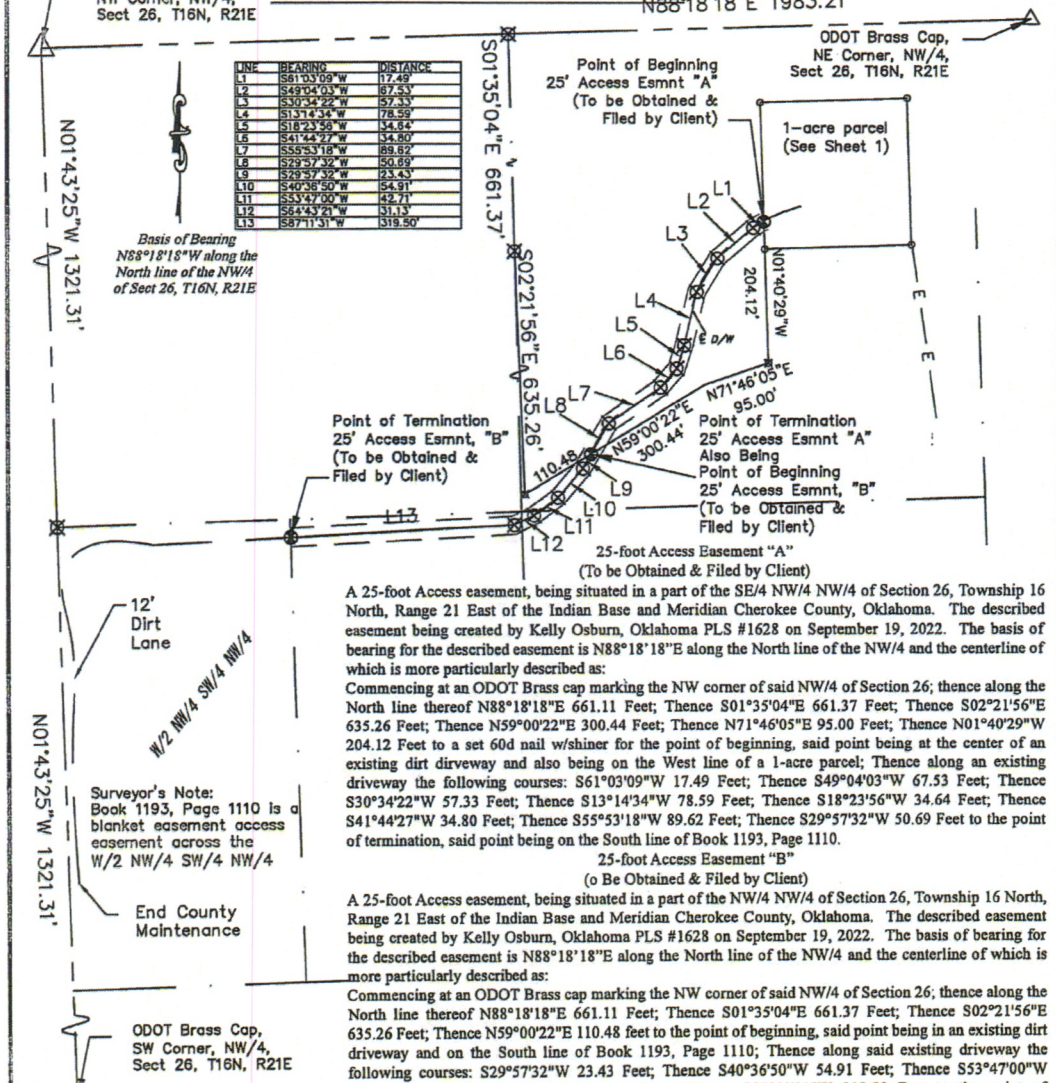
LEGEND

Electric Line	Section Line	Power Pole
Easement Line	10 Acre/40 Acre Line	Stone Monument
Fence Line	Right-of-Way Line	ODOT Brass Cap
		Set #3 Rebar w/cap
		Existing Monument
		Calculated Point
		Set 60d nail lw/shiner

Location Map Scale: 1"=3000'

Cherokee County, Okla.

PLAT OF SURVEY



25-foot Access Easement "A"
(To be Obtained & Filed by Client)

A 25-foot Access easement, being situated in a part of the SE/4 NW/4 NW/4 of Section 26, Township 16 North, Range 21 East of the Indian Base and Meridian Cherokee County, Oklahoma. The described easement being created by Kelly Osburn, Oklahoma PLS #1628 on September 19, 2022. The basis of bearing for the described easement is N88°18'18"E along the North line of the NW/4 and the centerline of which is more particularly described as:

Commencing at an ODOT Brass cap marking the NW corner of said NW/4 of Section 26; thence along the North line thereof N88°18'18"E 661.11 Feet; Thence S01°35'04"E 661.37 Feet; Thence S02°21'56"E 635.26 Feet; Thence N59°00'22"E 300.44 Feet; Thence N71°46'05"E 95.00 Feet; Thence N01°40'29"W 204.12 Feet to a set 60d nail w/shiner for the point of beginning, said point being at the center of an existing dirt driveway and also being on the West line of a 1-acre parcel; Thence along an existing driveway the following courses: S61°03'09"W 17.49 Feet; Thence S49°04'03"W 67.53 Feet; Thence S30°34'22"W 78.59 Feet; Thence S13°14'34"W 78.59 Feet; Thence S18°23'56"W 34.64 Feet; Thence S41°44'27"W 34.80 Feet; Thence S55°53'18"W 89.62 Feet; Thence S29°57'32"W 50.69 Feet to the point of termination, said point being on the South line of Book 1193, Page 1110.

25-foot Access Easement "B"
(To be Obtained & Filed by Client)

A 25-foot Access easement, being situated in a part of the NW/4 NW/4 of Section 26, Township 16 North, Range 21 East of the Indian Base and Meridian Cherokee County, Oklahoma. The described easement being created by Kelly Osburn, Oklahoma PLS #1628 on September 19, 2022. The basis of bearing for the described easement is N88°18'18"E along the North line of the NW/4 and the centerline of which is more particularly described as:

Commencing at an ODOT Brass cap marking the NW corner of said NW/4 of Section 26; thence along the North line thereof N88°18'18"E 661.11 Feet; Thence S01°35'04"E 661.37 Feet; Thence S02°21'56"E 635.26 Feet; Thence N59°00'22"E 110.48 Feet to the point of beginning, said point being in an existing dirt driveway and on the South line of Book 1193, Page 1110; Thence along said existing driveway the following courses: S29°57'32"W 23.43 Feet; Thence S40°36'50"W 54.91 Feet; Thence S53°47'00"W 42.71 Feet; Thence S64°43'21"W 31.13 Feet; Thence S87°11'31"W 319.50 Feet to the point of termination, said point being on the East line of the W/2 NW/4 SW/4 NW/4 of said Section 26.

Osburn Land Surveyors, LLC.
 P.O. Box 1406 3615 W. Cherokee Sallisaw, OK 74955
 918.775.9322—Office

SCALE: 1"=100'	SURVEY BY: KJO
DATE: 9/16/22	JOB NUMBER: 22-8953
LAST SITE VISIT: 8/24/22	FOR: Peggy Philpott/Cherokee Nation Rehab
	APPROVED BY:
	DRAWN BY: ND
	Sheet 2 of 2

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